

APPENDIX A
Amended Specific Plan No. 493

I. EXECUTIVE SUMMARY

1. Project Summary

The proposed Dominguez Hills Village (DHV-Residential) Specific Plan provides the City of Carson, community groups, public service districts, and future developers a comprehensive set of plans, conditions and programs for guiding the systematic, quality development of Dominguez Hills Village.

Dominguez Hills Village is located at the northwest corner (DHV-Residential, formerly referred to as Parcel 1) and northeast corner (DHV-Commercial/Industrial, formerly referred to as Parcel 2) of the intersection of Victoria Street and Central Avenue in the City of Carson. The project site is 100.23 acres, of which 72.74 acres are on DHV Residential, and 27.49 acres are on DHV-Commercial/Industrial, located to the east of Central Avenue.

The Dominguez Hills Village Specific Plan assures development of the proposed Land Use Plan as a coordinated project involving the orderly phasing of residential, ~~child care~~, neighborhood retail, industrial, and open space uses. At buildout, the original approved Specific Plan, a maximum of 893 homes is permitted to be construction on the northwest corner of Central and Victoria, with an overall gross density of 12.2 dwelling units per acre. With Specific Plan Amendment No. 1, the total density of DHV Residential was reduced to a maximum of 650 homes, with an overall density of 8.9 dwelling units per acre. (Refer to Table 1, *Project Summary: Dominguez Hills Village*, on the following pages.)

The Specific Plan provides for the residents' security and a visual harmony and order through a site plan, carefully designed to physically and visually integrate and buffer the future residences and commercial component with quality Development Standards. The Development Standards assure the Dominguez Hills Village will be developed with high standards of quality and create an appropriate milieu for a community of this scale within the community.

Site circulation and any project-related traffic mitigation are defined by the Dominguez Hills Village Specific Plan and Environmental Impact Report (EIR). Landscaped street scenes will provide continuity and a pedestrian scale at the perimeter streets and easements, and continue into the project's main streets and roadways. Street scenes will incorporate parking with community structures and sidewalks, which may consist of parallel or meandering sidewalks and greenbelts in a park-like setting. Entry monumentation and accent landscape treatments will provide a sense of arrival as one approaches the Dominguez Hills Village community from the north, east, and west. Table 1, *Project Summary*, summarizes the potential and maximum limit of the land use proposed by the Dominguez Hills Village Specific Plan.

TABLE 1: PROJECT SUMMARY: DOMINGUEZ HILLS VILLAGE

DHV-Residential (West of Central)

Land Use	Lot Numbers	Area	Units	Density
Housing Type A-1: Single-Family Detached	5, 6, 7, 8, 9, 10, 14, 15, 16, 17, 18, 19	43.60	340	7.80 du/ac
Housing Type B: Single Family Detached	1, 4	4.15	61	14.70 du/ac
Housing Type C: Courtyard Townhouses & Carriage Homes	2, 3, 12, 13	11.23	173	15.41 du/ac
Housing Type D: Townhouses	11	1.60	38	14.20 du/ac
DHV-Residential Total		60.58 ac	612	10.10 du/ac
Open Space	20, 21, 22, 23, 24, 25 & 26	3.19 ac	-	-
Roads	31	7.52 ac	-	-
Easements/Retention Basin	27, 28, 29, 30	1.45 ac	-	-
TOTAL DHV-Residential (WEST OF CENTRAL)		72.74 ac	612	8.41 du/ac

DHV-Commercial/Industrial (East of Central)

Land Use	Lot Numbers	Area	Leasable Footage	Density
Neighborhood Serving Retail	33	4.71 net ac (5.57 gross ac)	50,000 s.f.	0.23 FAR
Tank Farm, Oil Production, Distribution and Storage Facility	32	2.55 ac (111,078 s.f.)	N/A (No Leasable Office Use)	N/A
Industrial Development, Manufacturing and Distribution	34	19.37 gross ac (843,881 s.f.) (18.75 net ac)	441,000 s.f.*	0.54 FAR
Drainage and Ingress/Egress Easement	35	0.86 ac (37,462 s.f.)		
TOTAL DHV-Commercial/Industrial (EAST OF CENTRAL)		27.49 ac (1,197,464 s.f.)	491,000 s.f.	

* The 441,000 s.f. is the anticipated leasable square footage for Light Industrial land use, based on the projected actual residential build-out of 612 units. Acknowledging that the Specific Plan permits up to 650 dwelling units and that the actual Industrial traffic generation may vary, the Applicant has committed to the industrial land use, in combination with updated Dominguez Hills Village residential and commercial traffic projections, will not exceed the total traffic volumes projected in the Dominguez Hills Village Specific Plan EIR.

In keeping with the goals and objectives of the Specific Plan, the project's residential element provides a wide range of housing opportunities on approximately 20 lots with assigned densities. These housing types include for sale, single family detached homes, duplex homes; courtyard type townhomes, and two- and three-story townhomes and flats at 25 units per acre. The broad selection of housing types will allow future home buyers to purchase entry level homes, move up to duplexes and single family homes, move laterally, or even move down to smaller homes, while remaining in the same community.

The 72.74-acre residential and open space component of the Specific Plan incorporates 3.19 acres of open space park, most of which is directly adjacent to the main roads. Additionally, 7.52 acres of common primary roads proposed within the residential component, approximately 40 percent (40%) of the area is devoted to parkway, sidewalk, and landscaped edges.

The project will remediate adverse environmental conditions existing on site as a result of the oil and chemical production which has occurred on site since the 1920s.

A 50,000 square foot neighborhood serving retail center and 441,000 square feet of industrial lease space is proposed on DHV-Commercial/Industrial as an integral part of the Specific Plan. The retail center, as envisioned, will primarily serve community residents. Potential uses anticipated in the neighborhood retail center include, but are not limited to, a market, flower shops, retail shopping, a bank, and other service-oriented establishments. DHV-Commercial/Industrial will also house the tank farm, which is an oil production, storage, and distribution facility currently located in DHV-Residential.

The retail center, industrial components, and tank farm will contribute to the region's job/housing balance by providing employment for local and regional residents.

The *Design Guidelines* for the Dominguez Hills Village provide future residents a variety of housing types and active and passive recreational opportunities. The *Design Guidelines* included herein will incorporate as exhibits the projects' common open area parks, streetscape, monumentation, and design parameters of the housing types proposed by the project.

The uses on DHV-Commercial/Industrial will conform to City requirements, and will be subject to approval during the City's Site Plan Review Process.

The proposed Dominguez Hills Village will offer many things: attractive homes, residential facilities, neighborhood retail center, public infrastructure, and local employment opportunities. The Dominguez Hills Village Specific Plan balances and combines these diverse ingredients into a coherent, unified agenda for achieving the mutual goals of the City of Carson, the community, and Dominguez Hills Village.

2. Project Goals and Objectives

In order to insure the environmental compatibility, aesthetic satisfaction, and functional integrity of the Dominguez Hills Village Specific Plan, specific planning goals and objectives were identified. The design philosophy of the Specific Plan is based on the following goals and objectives:

- Work with the community and the City in modifying the Land Use Element of the General Plan, while maintaining the integrity of the balance of policies and elements of the Carson General Plan.
- Improve the environment in a previously disturbed oil production area by phasing the soils remediation and the construction of the dwelling units in such a way as to minimize the impact on the community and traffic circulation on adjacent truck routes, as identified in the Circulation Element of the General Plan.
- Respond to the community's need for a neighborhood retail center and provide housing opportunities to serve all segments of the community. Within the Specific Plan, provide the residents with community-oriented active and passive recreation space.
- Conserve Southern California's precious water resources by:
 - Using reclaimed water when made available to the site for common area irrigation.
 - Working with water agencies to determine the feasibility of additional water saving measures and reclaimed water uses.
- Enhance the Jobs/Housing Balance by providing new permanent, commercial and industrial jobs within and accessible to the local community. This addresses policies of the City of Carson and Southern California Association of Governments (SCAG) Regional Housing Needs Assessment Plan.
- Provide project-related infrastructure facilities.
- Provide a safe, efficient project road system to mitigate project-related traffic impacts.
- Address the diverse needs of Carson by creating an aesthetically pleasing, coherently planned community complementing its environment with a range of housing types, commercial opportunities.

The intent of the Specific Plan is to guide future development activities. Specific goals for the Dominguez Hills Village include the following:

- Implement a comprehensive program for the physical and economic development of the property.
- Ensure that the type and intensity of land uses are compatible with the surrounding area's existing residential neighborhoods and California State University Dominguez Hills, and ensure that the development does not in any way detract from existing and proposed adjacent industrial uses.
- Establish a quality and character of development which will invite merchant builders to build a community which will enhance the image of the City of Carson in general, and the immediate area in particular.
- Provide a circulation system that meets transportation requirements and minimizes

potential adverse impacts on the surrounding area.

- Ensure that infrastructure plans for water, wastewater, and drainage are adequately designed for the project.
- Ensure that the sequential phasing of the project development is accomplished in a logical, orderly manner, and in concert with the oil remediation and the extension of site infrastructure and recreational improvements for the site.

These major goals have been further refined and elaborated on the basis of specific site conditions, infrastructure relationships, market/economic conditions, and the policies of the General Plan.

V. SPECIFIC PLAN

1. Development Plans and Standards

This Specific Plan has been prepared within the framework of a detailed and comprehensive multi-disciplinary planning program. Issues such as engineering feasibility, market acceptance, economic viability, City Comprehensive General Plan goals and objectives, development phasing and local community goals have, and will continue to be, fully examined and considered.

a. Specific Plan Land Use Plan

1) Project Description.

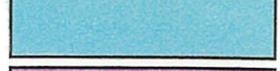
Upon completion, Dominguez Hills Village (DHV) will comprise a high quality mix of residential, recreational, retail, industrial and oil production land uses. The residential housing types will meet a broad market need in the City of Carson and surrounding neighborhoods. The Specific Plan has made provisions for for-sale detached single family residences, duplexes, townhouses, and flats. Densities average from 8.0 to 12.0 dwelling units per acre for the Detached Single Family Housing Type to 25.0 dwelling units per acre for townhouses and flats (over attached garages). Refer to Figure V-1, Land Use plan, and Figure V-2, Illustrative Site Plan, on the following pages.

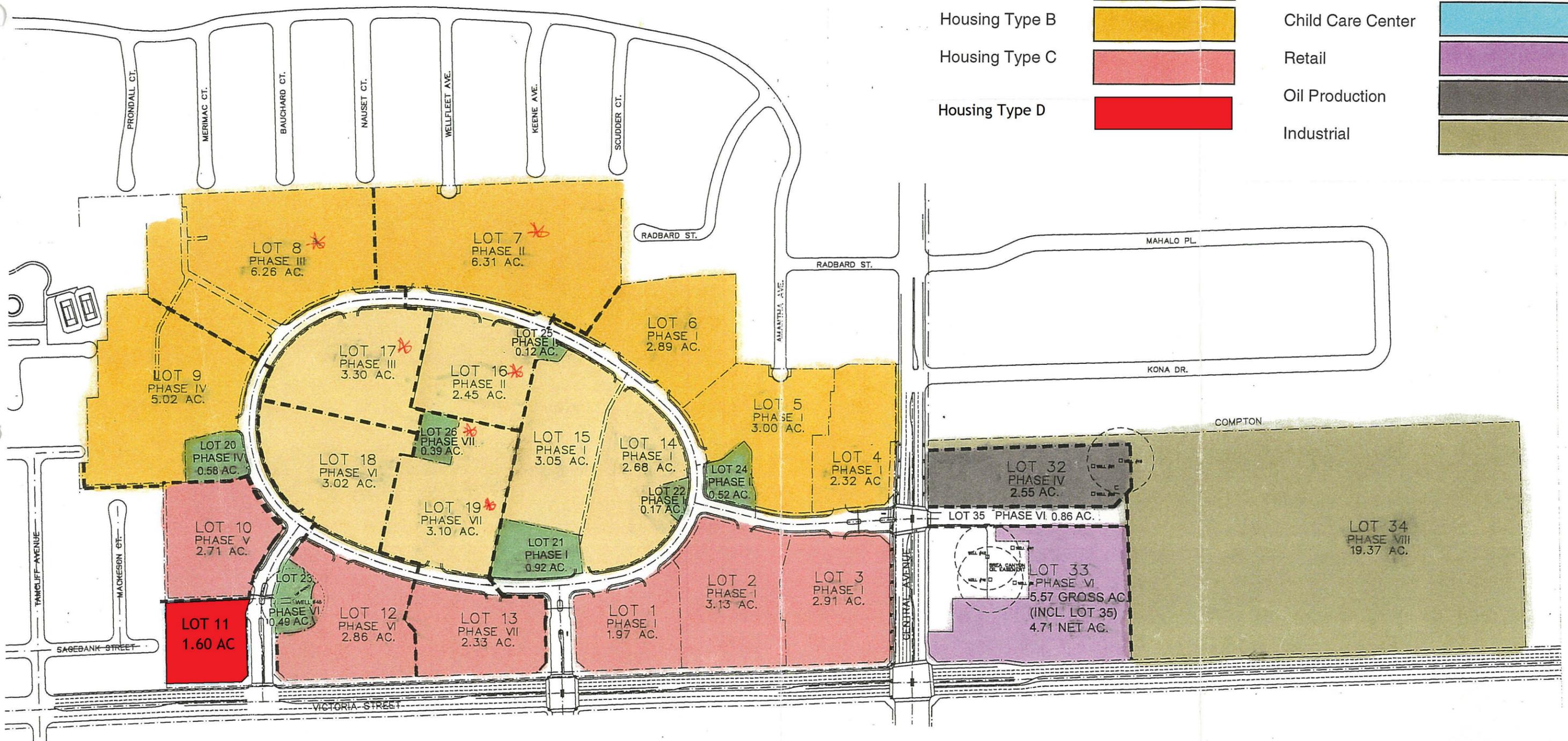
The target market for the residential component ranges from reasonable, market rate housing opportunities, to family homes, to "move-up" opportunities within this secured urban neighborhood.

At buildout, under the original approved Specific Plan (1996), a maximum of 893 residences were permitted to be constructed on 59.98 acres (not including open space, child care center, roads, or easements/retention basin) of this 72.74-acre DHV-Residential site. Under the original approval, the overall gross density was 15.2 dwelling units per acre. The 1999 Specific Plan Amendment (Specific Plan Amendment No. 1 and No.2) provides for a total of 650 dwelling units with an overall density of 8.9 dwelling units per acre for the DHV-Residential site. Specific Plan Amendment No. 3 provides 38 townhome units and eliminates the child care facility on Lot 11 without exceeding the 650 dwelling unit maximum or the overall gross density of 8.9 dwelling units per acre.

The landscaped roadways, open space, and residential amenities are of the highest quality design to ensure visual beauty, active and passive recreational opportunities; and, along with the retail center, the tank farm; and the industrial uses on DHV-Commercial/Industrial, will improve the jobs/housing balance for residents of the area.

LAND USE PLAN

Housing Type A-1		Open Space	
Housing Type B		Child Care Center	
Housing Type C		Retail	
Housing Type D		Oil Production	
		Industrial	



DOMINGUEZ HILLS VILLAGE

PREPARED FOR THE ESTATE OF ALBERT LEVINSON

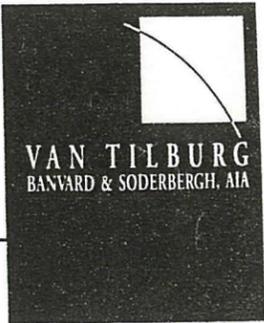
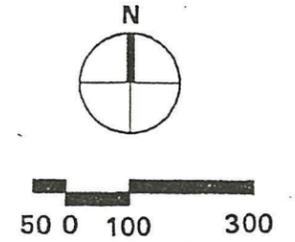


Figure V-1

ILLUSTRATIVE SITE PLAN



DOMINGUEZ HILLS VILLAGE

PREPARED FOR THE ESTATE OF ALBERT LEVINSON

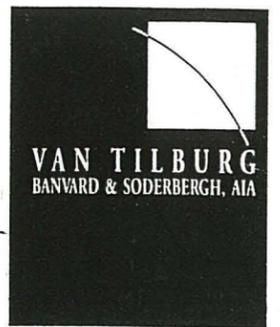
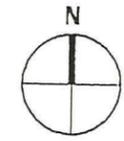


Figure V-2

Nonresidential land uses support the Specific Plan's proposed residential and community facilities/open space elements. A 4.71-net acre neighborhood retail center, a 2.55-acre tank farm, and a 19.37-acre industrial development are proposed on the 27.49-acre DHV-Commercial/Industrial as an integral part of Dominguez Hills Village. In keeping with the project's goals and objectives, the retail component will provide a convenient and accessible service/retail center for the residents and surrounding community, and will provide new jobs through the construction and staffing of this commercial component.

On DHV-Residential, approximately 7.52 acres of primary internal roadways will be constructed by the developer to access the individual lots to be built out by merchant builders. Project roadways, to be built to City standards, will be developed and landscaped in a manner that establishes a hierarchical network and visual continuity. The roadways will be maintained as private roads.

There is a 10% variance permitted from the stated densities, provided that the DHV-Residential project total does not exceed 650 homes.

A detailed Project description is below, with a separate discussion for Phase 1 residential development.

a) Residential:

Phase 1 Residential

There are three housing types for Phase I. The Specific Plan was formulated based on the goal of answering a demand in the area for quality, secure and reasonable housing, which is conveniently located near employment opportunities and provides amenities for families and residents of all ages.

The lots bordering the existing single family and duplex developments to the north of Phase 1 – lots 4, 5, and 6 will be built as single family patio homes (Housing Type "B"). the lots total 8.08 acres, with a unit count of 70 homes. The total proposed density for these lots is 8.66 dwelling units per acre.

Lots 14 and 15 will be development with conventional single family dwelling units at a density of 8.20 dwelling units per acre (Housing Type "A-1"). The lots total 5.73 acres, with a unit count of 47 homes.

Townhouses and carriage homes are designated for lots 1, 2, and 3 at approximately 16.10 dwelling units per acre (Housing Type "C"). The lots total 8.01 acres, with a unit count of 129 homes.

Phases 2 through 7 Residential

There are four contemplated housing types. The Specific Plan was formulated based on the goal of answering a demand in the area for quality, secure and reasonable housing, which is conveniently located near employment opportunities and provides amenities for families and residents of all ages.

It is the intent for the project to be built out with lot, housing type, and phasing as shown herein. The developer seeks the right to maintain a degree of flexibility in the allocation of densities between lots, while maintaining the maximum allowable unit count, which is 650 units for DHV-Residential.

DHV-Residential has been planned with the lower density single family, detached houses being located along the north and west property line adjacent to the existing residential neighborhoods, serving as a transitional buffer between the existing neighborhood. Higher density portions of Dominguez Hills Village would be located along the south property line adjacent to a main arterial street which borders the project site.

The lots bordering the single family and duplex developments to the north and west of DHV-Residential – lots 7, 8, and 9 will be built as single family residences. The lots total 17.39 acres, with a total unit count of 158 homes. The lots range in density from 8.91 to 9.35 dwelling units per acre.

Lot 8 will be developed with single family dwelling units at a density of 8.91 dwelling units per acre. On lots 7 and 9, the single family densities will be 9.35 and 8.96 dwelling units per acre respectively.

On lots 10, 12 and 13, the current designation is Housing Type C: Courtyard Townhouses at approximately 17.34 dwelling units per acre. The total unit count on these lots is 137 homes.

Lot 11 will be developed with Housing Type D: Flats and Townhomes units at a density of up to 25 dwelling units per acre. The total unit count on this lot is 38 homes at a density of 24.2 dwelling units per acre.

Phase 1 Housing Types

- Lots 14 and 15: Housing Type A-1: 8-20 du/ac

Conventional Single Family Detached Homes ranging from 1,900 to 2,500 square feet, will consist of 47 homes on 5.73 acres. These houses will appeal to families with children and members of the community accustomed to larger houses who wish to relocate, and maintain privacy and yard benefits.

- Lots 4, 5, and 6: Housing Type B: 8.66 du/ac

Single Family Patio Homes ranging from 1,400 to 2,000 square feet, will consist of 70 homes on 8.08 acres. These houses will appeal to families with children and members of the community accustomed to larger houses who wish to relocate, and maintain privacy and yard benefits. This housing type is designed with rear garages that are accessed via a common roadway, which creates a streetscene from the front of the home with building facades comprised of architectural detailing without a dominant garage door. This design allows for vehicle-free walking areas with sideyards usable as backyards.

- Lots 1, 2, and 3: Housing Type C: 16.10 du/ac

Townhouses and Carriage Homes, 129 homes on 8.01 acres, will range from 1,000 to 1,400 square feet. These predominantly townhome units, and some carriage homes with attached garages, offer a smaller, reasonably priced alternative to young working single and couple home buyers. This housing type is a two-story configuration with attached garages in a secured community, providing a neighborhood feel with integrated open space, common area, and lot specific amenities provided to the residents, such as BBQ areas, picnic benches, and a children's play area.

Phases 2 through 7 Housing Types

- Lots 16, 17, 18, and 19: Housing Type A-1: 9.18 du/ac

Single Family Detached Homes, ranging from 1,400 to 2,500 square feet, will consist of approximately 109 homes on approximately 11.87 acres. These houses will appeal to families with children and members of the community accustomed to larger houses who wish to relocate, and maintain privacy and yard benefits.

- Lots 7, 8, and 9: Housing Type B: 9.09 du/ac

Single Family Detached Homes, ranging from 1,200 to 2,400 square feet, will consist of approximately 158 homes on approximately 17.39 acres. These houses will appeal to families with children and move-up buyers seeking single family home ownership with its attendant yard and privacy benefits.

- Lots 10, 12, and 13: Housing Type C: 17.34 du/ac

Courtyard Townhouses, 137 units on 7.9 acres, will range in size from 1,050 to 1,800 square feet. These attached, predominantly townhome units, and some flats with attached garages, offer a smaller, reasonably priced alternative to your working single and couple home buyers. This housing type gives the benefit of a two-story configuration with attached garages in a secured community, providing a neighborhood feel with the meandering open space, common area, and the lot-specific amenities provided for the residents.

- Lot 11: Housing Type D: 25 du/ac

Townhomes and Flats, up to 38 units on 1.6 acres. This three-story housing type, which was originally included in SP 4-93, provides similar benefits as Housing Type C. The goal of this type of residence is to provide the opportunity of home ownership to a greater number of people, while still providing quality, security, and amenities envisioned in the original specific plan.

b) Open Space, Commercial Facilities, Community Facilities, Commercial, Oil Production, and Industrial:

The Community Facilities/Open Space element of the Dominguez Hills Village Specific Plan features community-oriented uses as the focal point of the Specific Plan.

- *Parks and Open Spaces:* See *Figure VI-1: Common Area Landscaping and Park Reference Plan*. Located at the entrance to DHV-Residential at Birchknoll Drive off Victoria Street, opposite the intersection with South Oakhill Circle, the park on Lot 21 is dedicated to community, neighborhood and family gatherings, as well as active and passive facilities. In this park, the developer will, prior to occupancy of Phase 1, construct an approximately 4,000-square foot commons building for the residents, incorporating bathrooms, a multi-purpose room, and kitchen facilities.

The open space areas resulting from the separate of residential uses and the oil producing well on DHV-Residential will also provide opportunities for such active recreational uses as basketball and lawn activities. This site will require that the layout of the parks, as well as the requirements of the submerged pumps as stipulated in the Continuing Non-Conforming Use (oil production) Ordinance, as approved as part of the Site Design Review Process by the Planning Commission.

As part of Phase 4, two full-size tennis courts and open space will be provided on Lot 20, a 0.58-acre park.

North and South Oakhill Circle in DHV-Residential provides the opportunity for an exercise and running track, with pocket parks containing fitness clusters. The parks on lots 20, 21, and 26 will be linked across lots 18 and 19 by a public path of landscaped 12' minimum right-of-way for the use of all Dominguez Hills Village residents and guests. See Design Guidelines for the specific park designs.

- The *Retail Site*, comprising a minimum of 50,000 square feet on approximately 4.71 net acres or more, as required, is in response to a need identified by the community and City officials for a neighborhood-serving retail center in this area. The retail center is anticipated to contain a small market, neighborhood retail, and should there be a need on behalf of the community, restaurant pads, which may or may not offer drive-through fast food. The Development Team is currently conducting community meetings to ascertain the retailers to target in marketing the site.

- *Oil Production:* The oil production on the site will be significantly reduced, and a majority of the existing oil producing wells will be capped in accordance with regulations of authorities having jurisdiction over oil production and capping of oil wells. On DHV-Residential, oil production will be reduced to one oil-producing well connected to pipelines transporting the oil to the tank farm on DHV-Commercial/Industrial. Submerged pumps, with fencing in park settings, as stipulated in the Continuing Non-Conforming Use (oil production) Ordinance, will replace the existing above-ground pump jack. The oil production will continue on DHV-Commercial/Industrial. When retail and tenants have been identified, oil production may be further curtailed to accommodate the location of the retail center and potential tenant requirements. The “tank farm” is an oil and gas storage facility, currently located on DHV-Residential, which will be relocated to DHV-Commercial/Industrial along the north property line which borders existing industrial uses. See Section III.
- *Industrial:* A significant portion of DHV-Commercial/Industrial is dedicated to industrial use. Industrial use is the current land use contemplated by the General Plan, and which physically surrounds DHV-Commercial/Industrial to the north and east.

2) Land Use Development Standards.

To ensure the orderly and sensitive development of the residential, recreational, and nonresidential uses proposed for the Dominguez Hills Village, special techniques, criteria and/or mitigations have been created for each Planning Area. These area-specific standards, discussed in detail in Section V.2, Planning Area Standards, will assist in accommodating the proposed development and provide adequate transitions between neighboring uses.

In addition to these specific techniques, project-wide development standards have also been prepared which compliment the unique conditions within each Planning Area. These general standards are as follows:

- a) The total Specific Plan for DHV-Residential shall be developed with a maximum of 650 dwelling units, as illustrated on the *Land Use Plan (Figure V-1)* and Executive Summary *Table 1*. General permitted uses will include residential, parks, open space, recreation uses, oil production, and circulation as delineated on the Land Use Plan and in the individual Planning Areas (Section V.2). On DHV-Commercial/Industrial, the current contemplated uses shall include approximately 2.55 acres allocated to the tank farm and gas plant, and a minimum 50,000 square foot

retail center on approximately 5 4.71 net acres. The balance of the site shall conform to uses allowed in the General Plan, or uses demonstrated to be compatible with the neighborhood and identified as alternates in the Environmental Impact Report EIR. Such alternate uses are subject to the City's General Plan Amendments and Site Plan review processes.

- b) Uses and development standards will be as defined in the following sections: Development Plans and Standards and *Design Guidelines*, future detailed Plot Plans, and potential conditional use permits as appropriate for the use being contemplated.
- c) Standards relating to landscaping, parking, setbacks, and other related design elements will conform to the City of Carson, Dominguez Hills Village Specific Plan Zone Ordinance. When appropriate and necessary to meet the goals of this Specific Plan, the standards will supersede the Zoning Code Ordinance requirements.
- d) The development of the property shall be in accordance with the mandatory requirements of all City of Carson ordinances, (unless amended herein), and State laws, and shall conform substantially with Specific Plan No. 4-93 as filed in the City of Carson Planning Department, including the City Council adopted ordinance and conditions of approval, (unless otherwise amended).
- e) Except as noted or defined within this Specific Plan, portions of the Specific Plan which purport or propose to change, waive or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted Specific Plan.
- f) Common areas identified in the Specific Plan shall be owned and maintained by a permanent Master Maintenance Organization, which shall be established for the Specific Plan area, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas (including those landscaped areas adjacent to Parcel 4 DHV Residential on Victoria Street and Central Avenue).

Common area maintenance of these lots will be the responsibility of the Commercial Retail and Industrial Developer these lots.

- g) ~~With the exception of the 8 unit per acre Housing Type A-1 (lots 6 and 8), and the 23 unit per acre Housing Type D (lots 16 and 20,~~ the proposed number of dwelling units contained in an implementing residential application may exceed the maximum expressed in said Planning Area by not more than ten 10 percent (10%), provided that an equal or greater number were unused in a previously approved application, or shall be remain unused by in a future application, within another Planning Area. It shall be determined through the appropriate development application up to the maximum density identified based upon, but not limited to, the following: a) adequate availability of services; b) adequate access and circulation;

- c) sensitivity to landforms and; d) Housing types and/or conservation or other opportunities.
- h) The floor area range indicated for the various dwelling unit types proposed for the project are a range based on contemporary built dwelling units at comparable densities in the Southern California area. The dwelling unit sizes will respond to market factors prevailing at the time of the residential application. The floor areas for a Planning Area may be increased by ten 10 percent (10%) from the floor area of the dwelling units multiplied by the number of dwelling units in a Planning Area.
- i) Prior to issuance of a Building Permit for construction of any use contemplated by this approval, the applicant shall first obtain approval from the City of Carson Planning Commission for Design Review. The review shall include, but not be limited to, verification that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.
- j) An environmental assessment shall be conducted for each tract, change of zone, conditional use, Specific Plan Amendment, Planning Commission Design Review, or any other discretionary Permit required to implement the Specific Plan. At a minimum, the environmental assessment shall utilize the evaluation of impacts addressed in the EIR prepared for this Specific Plan Number 4-93.
- k) No further Conditional Use Permits shall be required for the residential uses specifically contemplated herein.
- l) Phasing of project buildout may vary from that indicated in the Phasing Plan with Planning Commission approval and Design Review, without submitting a Zoning Ordinance Variance Application.
- m) Lots created pursuant to this Specific Plan and any subsequent tentative maps shall be in conformance with the development standards of the Specific Plan zone herein applied to the property herein.
- n) Flag lots shall not be permitted except as approved by the Planning Commission.
- o) Development applications which incorporate common areas shall be accompanied by Design Plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures and circulation (vehicular, pedestrian, and bicycle). Such plans shall be in substantial conformance with the provisions of this Specific Plan.
- p) Passive solar techniques will be employed whenever possible within the Project. Passive systems involve proper orientation of buildings, planting trees to take advantage of the sun, ensuring that roof overhangs are adequate where possible, ensuring that walls are properly insulated, and installing simple heat storage systems.

- q) Areas designated as open space that will be conveyed within parcel boundaries to individual property purchases shall be deed restricted so as to create open space easements and prohibit construction or other development activity in such open space.
- r) Prior to the issuance of Building Permits, improvement plans including Irrigation Plans for developed common open space areas, including Irrigation Plans, shall be submitted for Planning Department approval for the stage of development in question. Landscape and Irrigation Plans shall be certified by a Landscape Architect.
- s) For the security and safety of future residents, the applicant and/or Developer shall incorporate the following design concepts within each individual residential tract:
 - i. Circulation for pedestrians, private and emergency vehicles, security patrols, and police response vehicles;
 - ii. Lighting of streets, walkways, and bikeways along Central Avenue;
 - iii. Visibility of doors and windows from the street and/or motorcourt, and between buildings; and
 - iv. Fencing conforming to height limits and conceptual designs.
- t) As further set forth in the Circulation Element and *Design Guidelines*, it is anticipated that maintenance associations, as initially developed will be established as follows:

The master maintenance organization shall be charged with the unqualified right to assess the individual owners who own individual units for reasonable maintenance and management costs which shall be established and continuously maintained. The organization shall be responsible for private roads, as shown herein, parking, open space areas, signing, landscaping, irrigation, common areas, on-site sewers, storm drains, retention basins, and other responsibilities as necessary.
- u) A land division filed for the purposes of phasing or financing shall not be considered an implementing development application.
- v) Prior to the recordation of any final map or issuance of any Building Permit within Specific Plan No. 4-93, the first applicant or their successor-in-interest for a subdivision or Building Permit within a Planning Area shall submit to the Planning Department correct legal descriptions for the Planning Area(s) within which the proposed Project is located.
- w) If any condition of approval or conditions combined herein is violated or if any law, statute or ordinance is violated, the permits shall lapse

provided the developer has been given written notice to cease such violation and has failed to do so for a period of 30 days.

b. Circulation Plan.

1) Circulation Plan Description.

As a result of a thorough traffic analysis conducted by Robert Bein, William Frost & Associates, and reviewed by Rock E. Miller Associates (see EIR Technical Appendices), a Project roadway concept has been developed, as illustrated in the *Land Use Plan (Figure V-1)*, and the *Illustrative Site Plan (Figure V-2)*. The roadway system is presented in further detail in *Figures V-3 through V-11*.

Regional access to the site will be primarily from the ~~Artesia Freeway State~~ (Route 91) to the north. On and off ramps are provided on this freeway at Central Avenue, approximately one half mile from the site. Additional access to the site will be from Interstate 405, about 4.5 miles south of the site. Approach routes from the south include Wilmington Street and Avalon Boulevard.

Victoria Street is classified as a major highway, with a 100-foot right-of-way. This type of roadway can provide for two through lanes, or for three through lanes in each direction, depending upon the roadway striping treatment.

Victoria Street, to the east of Central Avenue, is an improved half street in the westbound direction, with two lanes of travel, and permitted street parking. Eastbound traffic on Victoria Street, east of Central Avenue, is not improved to major highway standards, having only a single lane of travel with no permitted street parking.

Please refer to the EIR for a detailed discussion of Dominguez Hills Village traffic-related impacts and mitigation on surrounding streets and intersections.

2) Circulation Development Standards.

- a) The improvements needed to ~~maintain City service level standards~~ at locations significantly and directly impacted by the Project to ~~maintain City service level standards~~ will be required to be in place prior to occupancy of the relevant development phase.

The Project will be responsible for in-lieu fees for the construction of a landscaped half median north of the center line of Victoria Street, along the entire Project frontage. As an alternate, the Developer has proposed to construct an equivalent quantity of complete raised median in phases along the ~~Parcel 4 DHV Residential~~ frontage, west of Central Avenue.

This median would be constructed from Central Avenue to the ~~proposed major site Birchknoll Drive~~ entrance 600 feet 600' 0" to the west within the first phase of development. It would be constructed from the ~~major site Birchknoll Drive~~ entrance, west to the secondary

Cedarbluff Way entrance near the child care center, in conjunction with development of the commercial retail site on Parcel-2 DHV-Commercial/Industrial. It would be constructed from the child care center entrance east to Tamcliff, in conjunction with development of the remainder of Parcel-2. The median will be completed from the Cedarbluff Way entry to the west to Tamcliffe Avenue, in conjunction with the development of the remainder of DHV-Commercial/Industrial. The design of the median will be subject to the City's review and approval.

The complete median along Victoria Street, west of Central Avenue, is proposed in lieu of payment of fees for half of a future median east of Central Avenue.

As the buildout of Parcel-2 DHV-Commercial/Industrial occurs, the balance of the Victoria Street frontage along Parcel-1 DHV-Residential will be built in lieu of building a half median along the entire Parcel-1 DHV-Residential and Parcel-2 DHV-Commercial/Industrial frontage.

- b) Along the Central Avenue and Victoria Street corridors, full access locations with median breaks shall be allowed only where approved by the City of Carson Engineering Department.
- c) The Developer shall fully fund and construct all traffic signals required at site entrances on Central Avenue or on Victoria Street, including site entrances that are located opposite existing or proposed access points for CSUDH California State University at Dominguez Hills or other properties. Traffic signals will be constructed during the appropriate development phase, as determined by City staff, based upon accepted CALTRANS California Department of Transportation (Caltrans) traffic signal warrant analysis procedures.
- d) Traffic signing/stripping shall be implemented in conjunction with detailed Construction Plans for the Project.
- e) Sight distance at each intersection shall be reviewed with respect to standard CALTRANS Caltrans/City of Carson sight distance standards at the time of preparation of final grading, Landscape Plans and Improvement Plans.
- f) Ultimate intersection lane requirements shall be provided as conceptually illustrated herein, outlined in the Project Traffic Report, and as approved by the City Engineering Department during the tract map approval phase.
- g) The Project collector roadway systems shall be implemented per pursuant to the the Dominguez Hills Village Road Sections (Figure V-7), and as outlined in the Project Traffic Report.

- h) The subdivision shall comply with the on-site street improvement recommendations/mitigations outlined in the Pproject traffic analysis, including internal design.
- i) On-site roads are defined as:
 - Collector: Collector Roads are the main loop road North and South Oakhill Circle in Parcel-1 DHV-Residential, the main circulation road in Parcel-2 DHV-Commercial/Industrial, and Cedarbluff Way, Birchknoll Drive, Aspen Hill Road, and the entry roads to DHV-Commercial/Industrial. See Figure V-7.
 - Local Streets: Interior Pproject roads. See Figure V-7.
- j) Landscape requirements will be based on street widths in accordance with the roadway landscape treatments as depicted in Section VI.2., *Landscape Design Guidelines*.
- k) All public roadways shall be constructed to City of Carson standards, as approved by the City Engineer. All private roadways shall be constructed per the functional usage and cross sections of the Specific Plan. These roadways shall also meet the applicable requirements of the City Engineer for structural section, engineering details, and compliance with State and Federal laws.
- l) The Pproject shall comply with the conditions and requirements set forth by the City of Carson.
- m) All intersection spacing and/or access openings shall be subject to approval by the City of Carson.
- n) All access points, as shown in this Specific Plan, shall be subject to the review and approval of the City Engineer, when filing for approval for the development of individual parcels.
- o) Any application of any subdivision within the Specific Plan boundary shall cause the design and construction of the Specific Plan master planned infrastructure within the final map boundaries, concurrent with subdivision construction, if any. ~~of the Specific Plan masterplanned infrastructure within the final map boundaries.~~
- p) Bus turnouts and potential future bus stop locations shall be incorporated into the Land Use Plan, as depicted in the Pproject Traffic Report.
- q) The curb cuts depicting Planning Area entrances on ~~site plan internal roadways~~ North and South Oakhill Circle, Cedarbluff Way, Birchknoll Drive, and Aspen Hill Road (see Section V-2, *Planning Area Standards*) are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.

Intersections and curb cuts shown on Victoria Street, west of Central Avenue, and on Central Avenue, are proposed final locations, subject only to minor refinements in location based upon precise site development studies. ~~The major Birchknoll Drive entrance 600 feet 600' 0" west of Central Avenue shall be located directly opposite the entrance to CSUDH California State University at Dominguez Hills~~

- r) The Developer shall improve existing dead-end streets by improving cul-de-sacs as indicated and dimensioned in *Figures V-8, V-9, V-10 and V-11*. The designs of driveways, curbs and gutters will be approved by the City. The Developer shall improve the cul-de-sacs prior to Occupancy Permits being issued for the lots directly adjacent to the cul-de-sac on the DHV Dominguez Hills Village property.
- s) The developer shall participate in the Fair Share Study with the total amount approved by the City Council. The amount shall be collected on a per unit basis by phase. Improvements made to intersections included in the Fair Share Study shall be deducted from the total amount owed by the applicant. The City shall administer the fund and assure that the funds are being used for improvements designated in the Fair Share Study.
- t) The applicant shall provide a temporary construction access point along Victoria Street in order to minimize truck traffic adjacent to the Phase 4 child care facility, prior to issuance of certificate of occupancy for the child care facility, to the satisfaction of the Community Development Director.
- u) The applicant shall ~~may be required to~~ construct the following improvements, which are necessary due to existing traffic, ambient growth, other cumulative projects and project traffic:

Avalon Boulevard/Victoria Street

- i) construct a second southbound left turn lane.
- ii) stripe northbound right turn lane.
- iii) stripe a second westbound left turn lane.
- iv) provide a second eastbound lane.

Central Avenue/Artesia Street

- i) Stripe a southbound right turn lane prior to issuance of Phase I certificates of occupancy.

- v) Prior to receiving the first Site Plan approval or construction of any residential or non-residential structures, the applicant shall submit a Traffic Improvement Phasing Plan, which demonstrates the timing required for implementation of all required improvements associated with the project.
- w) In the absence of Dominguez Technology Center (DTC) improvements, the applicant shall construct the following improvements, which are necessary due to existing traffic, ambient growth, other cumulative projects, and project traffic:

Avalon Boulevard/Victoria Street

- a) Stripe eastbound right turn lane.

Central Avenue/Victoria Street

- a) Stripe/construct second eastbound left turn lane.

Wilmington Avenue/Del Amo Boulevard

- a) Construct/stripe eastbound right turn lane.

Wilmington Avenue/Artesia Street

- a) Stripe a second westbound left turn lane.

Wilmington/Albertoni Street

- a) Construct a second southbound left turn lane.
- b) Construct northbound right turn lane.

- x) Based on a detailed access and capacity analysis as part of the Site Plan Review Process, the Birchknoll Drive driveway and the easternmost driveway into DHV-Commercial/Industrial driveways V2 and V4 shall be signalized, if warranted, to provide adequate level of service (driveway V4 the easternmost driveway into DHV-Commercial/Industrial would not be signalized, if at all, until the final phase of occupancy). Driveway V2 The Birchknoll Drive driveway must align properly with the existing CSUDH California State University at Dominguez Hills driveway. In addition, the Aspen Hill Road access C4 shall be signalized. Access C4 The Aspen Hill Road access also requires extensive construction/improvements on Central Avenue, including but not limited to, a northbound left turn lane and dual southbound left turn lanes at Victoria Street. The median and left turn storage lengths shall be designed under the direction of the City Engineer to ensure that adequate deceleration is provided, and that adequate left-turn storage is provided.
- y) The project shall comply with the City's Transportation Demand Ordinance. In addition, the LACMP Los Angeles County Congestion Management Plan requires all new non-residential developments of 50,000 square feet or more to provide preferential parking for carpools or vanpools, access for vanpool vehicles in parking areas, bicycle parking facilities, and a transportation information area. The project shall accommodate these facilities in the layout plan of the commercial area east of Central Avenue, and shall be included in the calculations towards compliance with overall parking requirements.
- z) To limit emissions from project-related vehicle trips, employers of 100 or more employees shall prepare and implement trip reduction and ridesharing programs consistent with SCAQMD Regulation XV.
- aa) In accordance with the City of Carson General Plan Air Quality Element, the project shall, at a minimum, incorporate the following:
 - a) Lockers and secure storage areas for bicycles
 - b) Marked pedestrian lanes and driver warning signs

- c) Bicycle racks for employees and customers of commercial area;
- d) Transit access, including bus turnouts;
- e) Preferential parking zones, free parking and/or parking limits;
- f) Site access shall avoid queuing in driveways;
- g) Mulch, ground cover and native vegetation to reduce energy for pumping water; and
- h) Charging outlets for electric vehicles.

bb) Prior to initiating structure removal, the applicant must provide evidence, to the satisfaction of the City, that all debris and structure removals will be subject to a Traffic Control Plan, as approved by the City Engineer. The intent of this measure is to minimize the time period and disruption of heavy duty trucks.

3) Bicycle Facilities Section.

- a) Description: The Carson General Plan has identified Central Avenue as having Class I Bicycle Paths (graded and surfaced pathway on a completely separated right-of-way designated for the exclusive use of bicycles [bike path]).
- b) Class I bicycle paths are difficult to implement in developed areas because they normally require additional right-of-way. The proposed Class I bicycle path can be implemented readily along the Project frontage, and to the south when Central Avenue is extended. The proposed trail may pose implementation difficulties north of the Project site.

Implementation: An off-street bicycle path is proposed along the west side of Central Avenue, from Victoria Street to the Central Avenue Project entrance Aspen Hill Road. The trail will be constructed within a fifteen-foot 15'-0" utility easement west of the roadway right-of-way. The combined eight-foot 8'-0" sidewalk within the right-of-way and the fifteen-foot 15'-0" utility easement will also be landscaped; opportunities to develop a meandering sidewalk and bikeway will be considered, under the direction of the City Engineer and the Engineering Services Department.

The proposed bicycle path will be extended from the Central Avenue Project entrance Aspen Hill Road to the north property line. However, the bicycle path could not be extended north from this point without affecting privately owned and developed properties.

It is proposed that the bicycle route be extended north of the Central Avenue entrance Aspen Hill Road as two, five-foot 5'-0" wide, on-street bicycle lanes along the east and west curbs of Central Avenue. The existing pavement for Central Avenue is wide enough to provide for on-street bicycle lanes, if parking is prohibited, and if the roadway remains striped for four through travel lanes. Traffic studies and required mitigation measures for nearby developments (including the Dominguez Technology Center) have suggested that Central Avenue may require six lanes in the future. There is

sufficient pavement width to provide for six through lanes; however, there will not be surplus width to provide bicycle lanes at that time, unless lane widths are employed that do not comply with standards for new construction.

It will be necessary for the City of Carson to work with other property owners and the City of Compton to properly extend this trail north of the development site. The Developer will extend the bicycle path corridor to the north property line and terminate it properly, as directed by the City Engineer. The Developer will also install striped bicycle lanes on Central Avenue north to the vicinity of State Route 91, if required by the City. Parking must be properly prohibited for this purpose.

4) Proposed Intersection Plans (Proposed):

Figures V-3 through V-5 show proposed intersection plans for Victoria Street and Central Avenue along the Project frontage. They also show the proposed access locations and roadway features, including medians, turn lanes, and traffic signals.

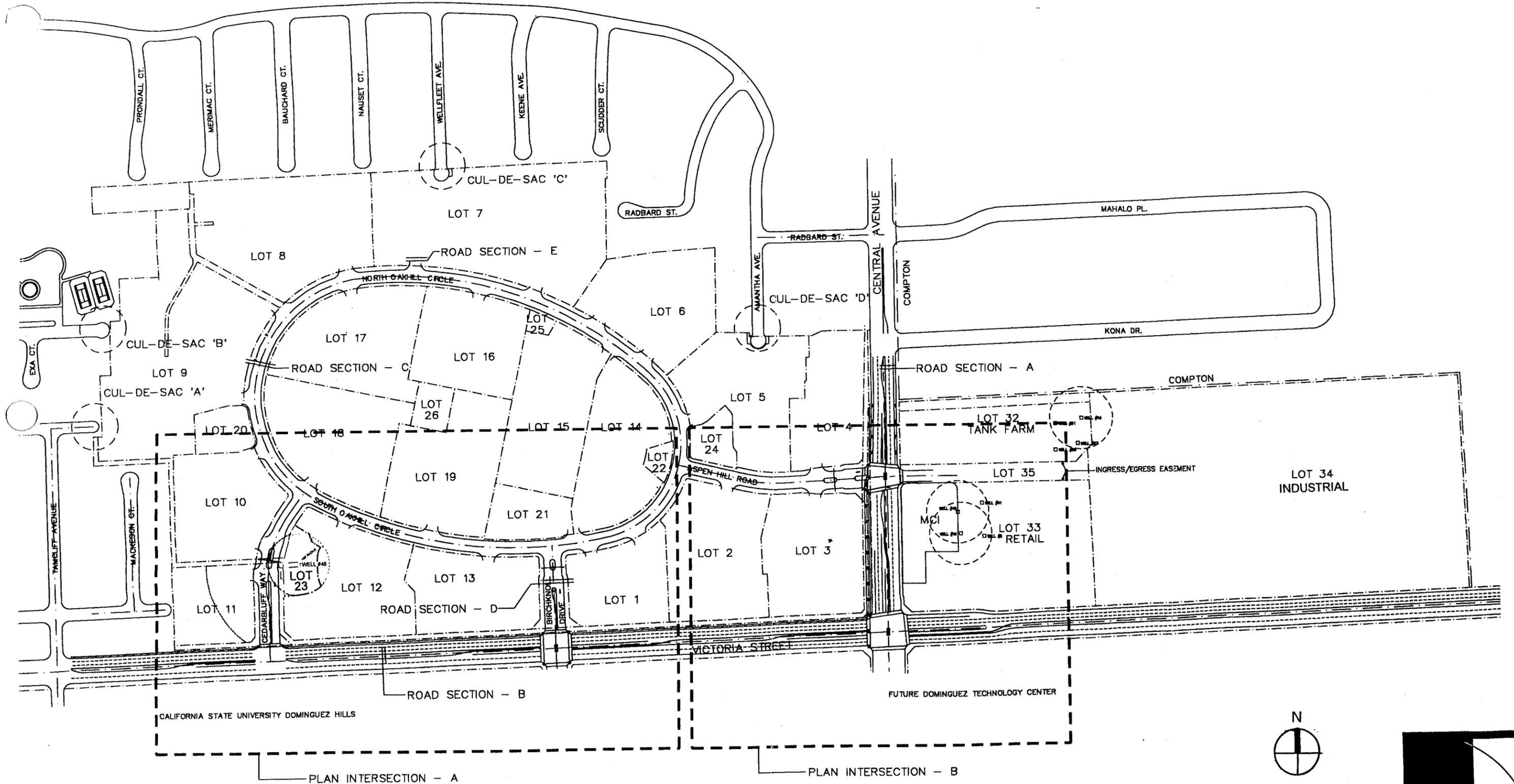
The Figures showing intersection plans are conceptual in nature, and are subject to refinement under the direction of the City Engineer. Specific features that may be revised include the lengths and configuration of turn pockets, the location of traffic signals, and turn lanes as required during the tract map approval process.

Any improvements to traffic circulation improvements required as mitigation measures will be implemented, at the latest, in conjunction with development of adjacent property at the latest. Improvements will be implemented sooner, when required to maintain adequate level of service according to the final traffic study.

5) Internal Roadways and Local Streets:

Figures V-6 and V-7 shows the proposed cross sections for internal roadways, and Figures V-8 through V-11 show proposed cul de sac plans. Minor internal roadways will provide five-foot 5'-0" parkways for construction of sidewalks. Fire hydrants, street lights, and other above-ground facilities may be located within the five-foot 5'-0" area. These facilities will be located to provide an unobstructed four-foot 4'-0" clear pathway for pedestrian use. This will be accomplished by locating facilities behind the sidewalk, or by widening the sidewalk to provide adequate pedestrian clearance around obstructions that must be located near the roadway curb.

CIRCULATION ELEMENT KEY PLAN



DOMINGUEZ HILLS VILLAGE SPECIFIC PLAN

PREPARED FOR THE ESTATE OF ALBERT LEVINSON

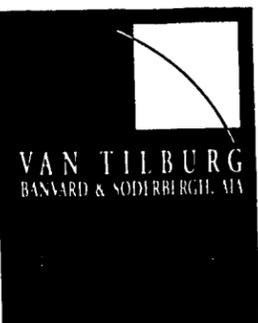
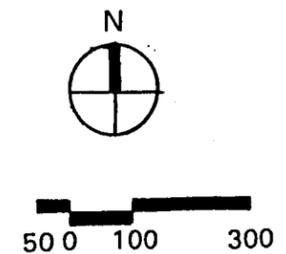
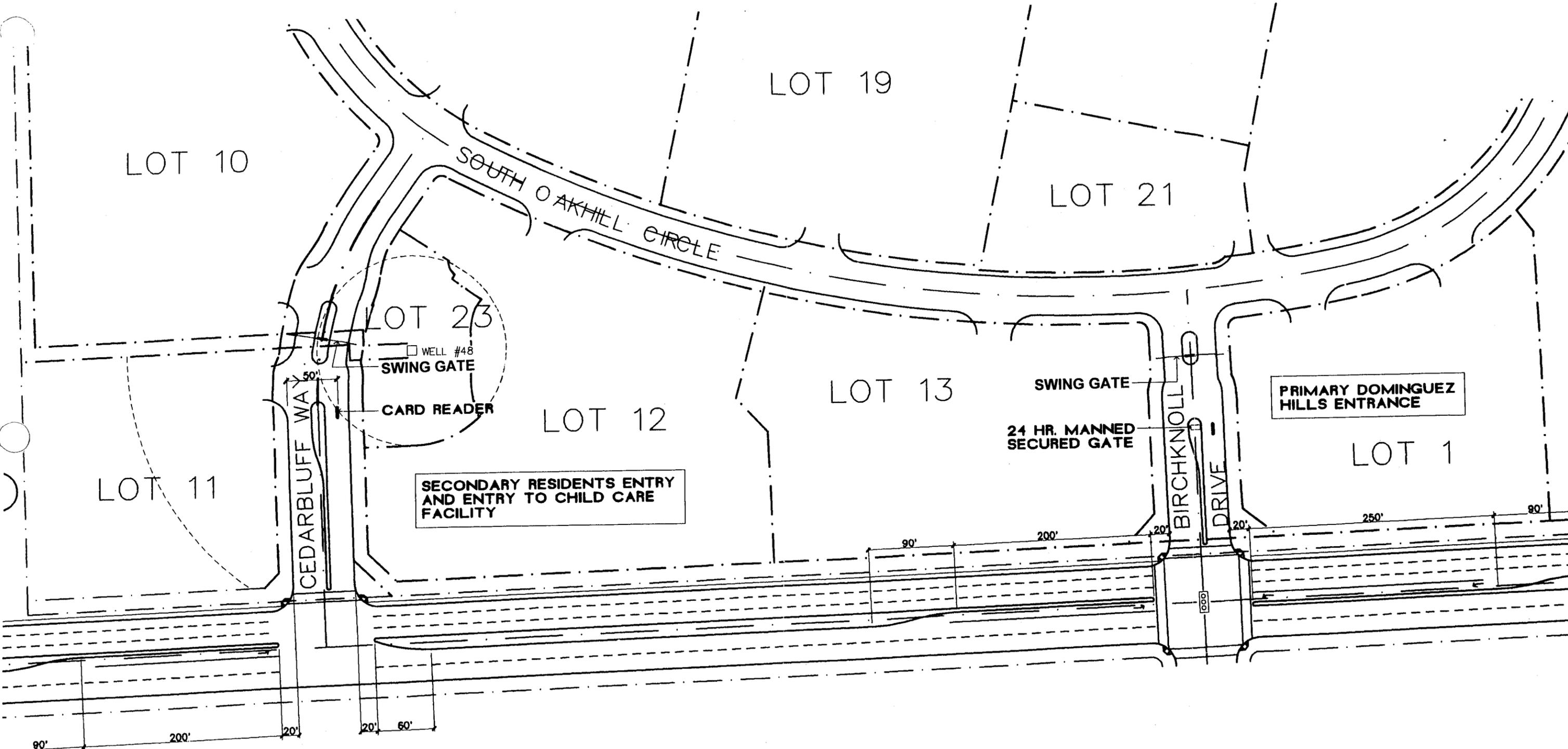


Figure V-3

INTERSECTION PLAN 'A'



ALIFORNIA STATE UNIVERSITY DOMINGUEZ HILLS

DOMINGUEZ HILLS VILLAGE SPECIFIC PLAN

PREPARED FOR THE ESTATE OF ALBERT LEVINSON

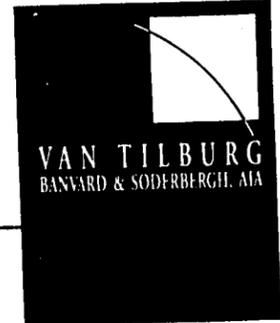
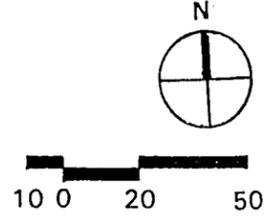
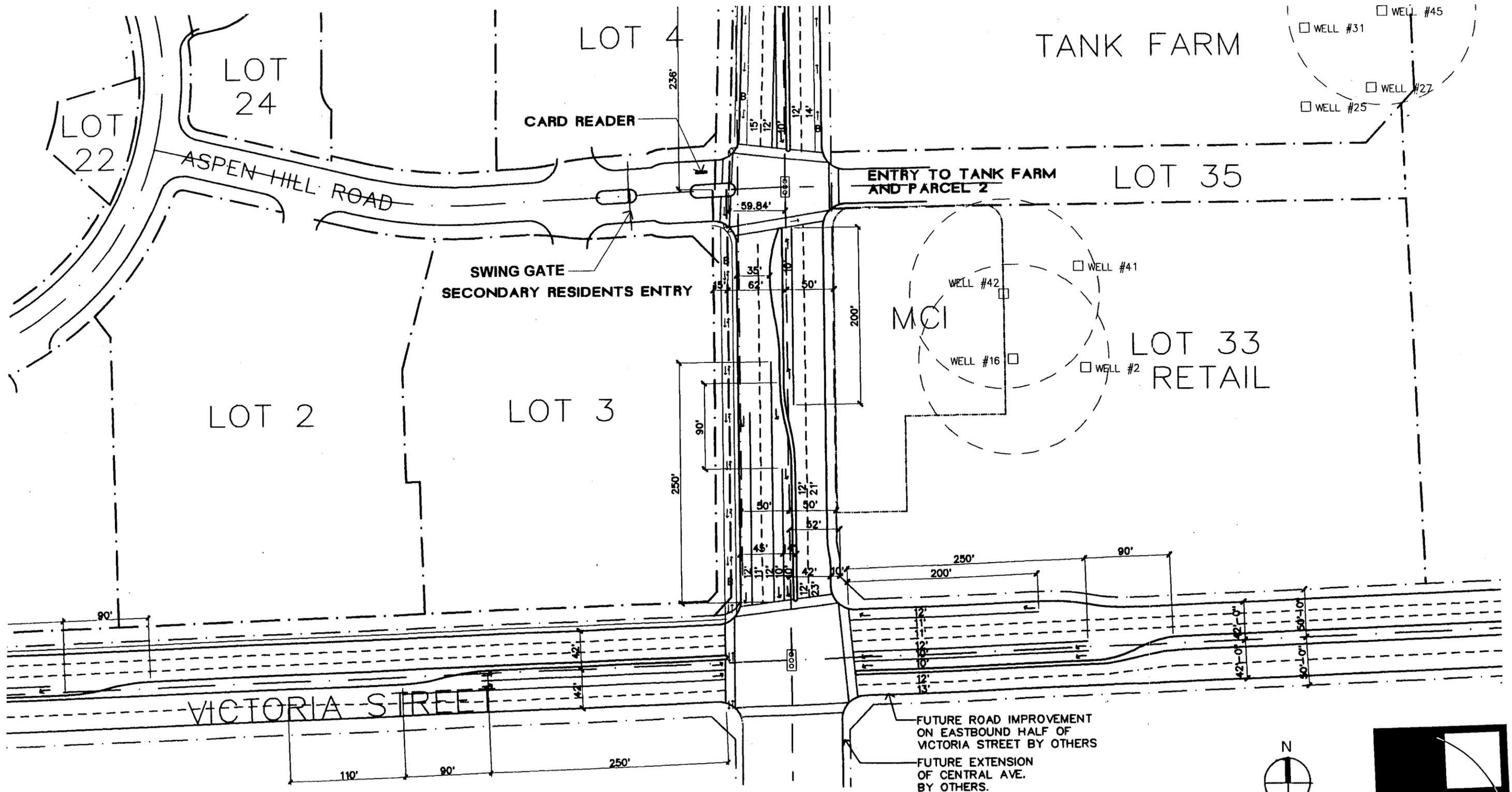


Figure V-4

INTERSECTION PLAN 'B'



DOMINGUEZ HILLS VILLAGE SPECIFIC PLAN

PREPARED FOR THE ESTATE OF ALBERT LEVINSON

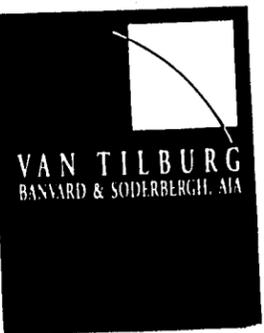
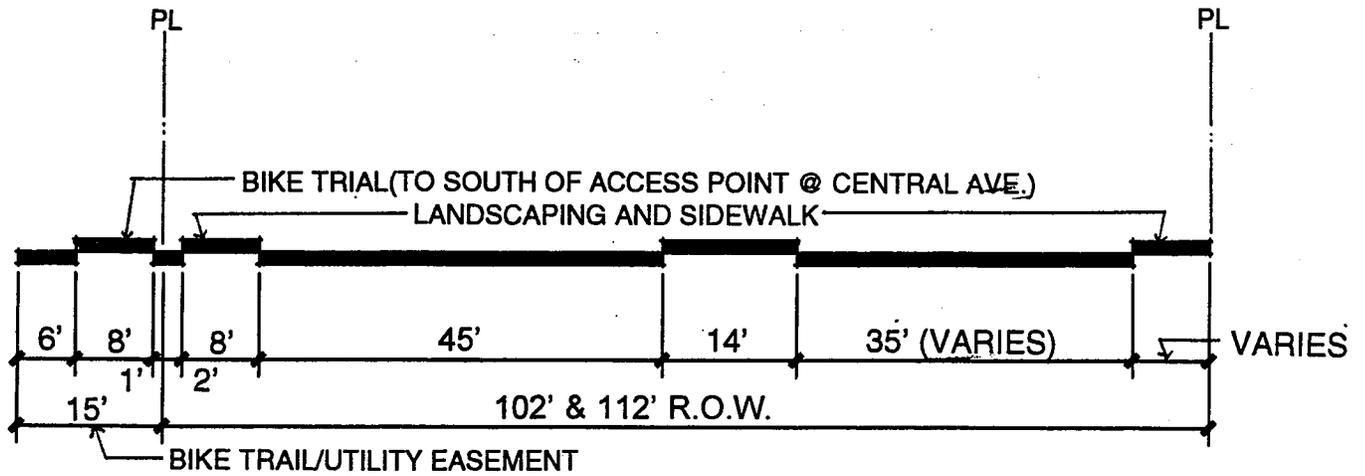
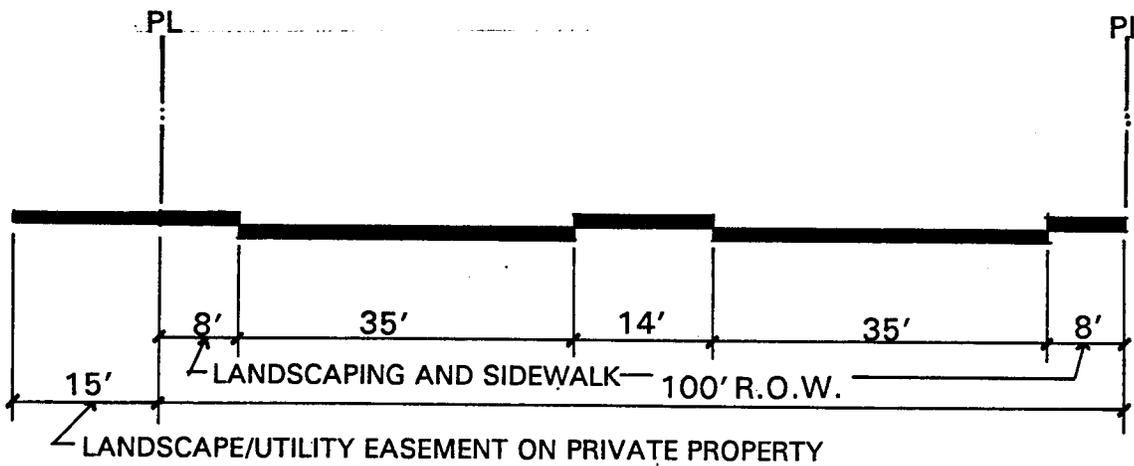


Figure V-5

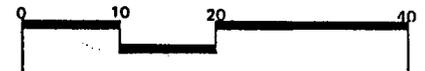


A. CENTRAL AVENUE

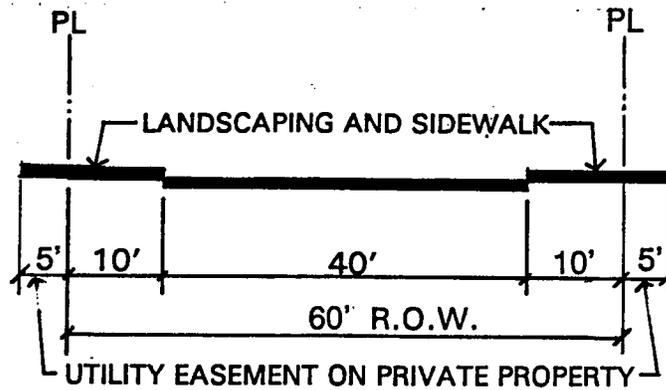


B. VICTORIA AVENUE

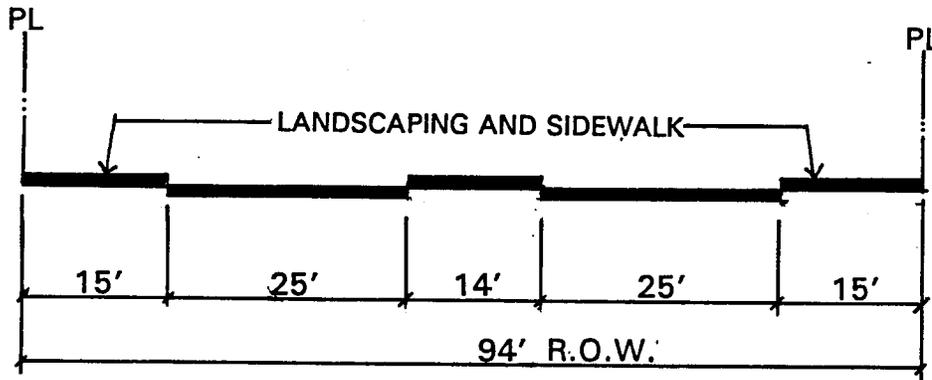
SCALE 1" = 20'-0"



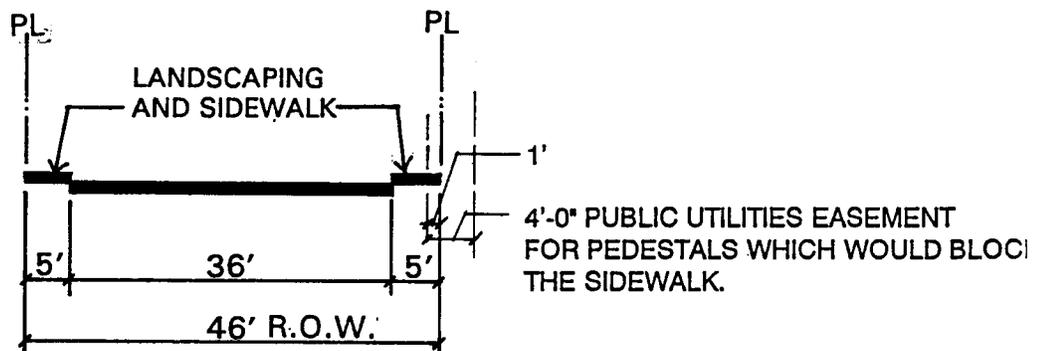
NOTE: DISABLED ACCESS RAMPS AT ALL INTERSECTIONS ARE TO BE IN COMPLIANCE WITH STATE AND LOCAL REQUIREMENTS.



C. NORTH AND SOUTH OAKHILL CIRCLE



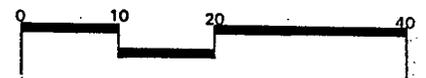
D. ASPEN HILL ROAD, CEDARBLUFF WAY, AND BIRCHKNOLL DRIVE



**E. INTERIOR STREET
(WITHIN INDIVIDUAL DEVELOPMENTS)**

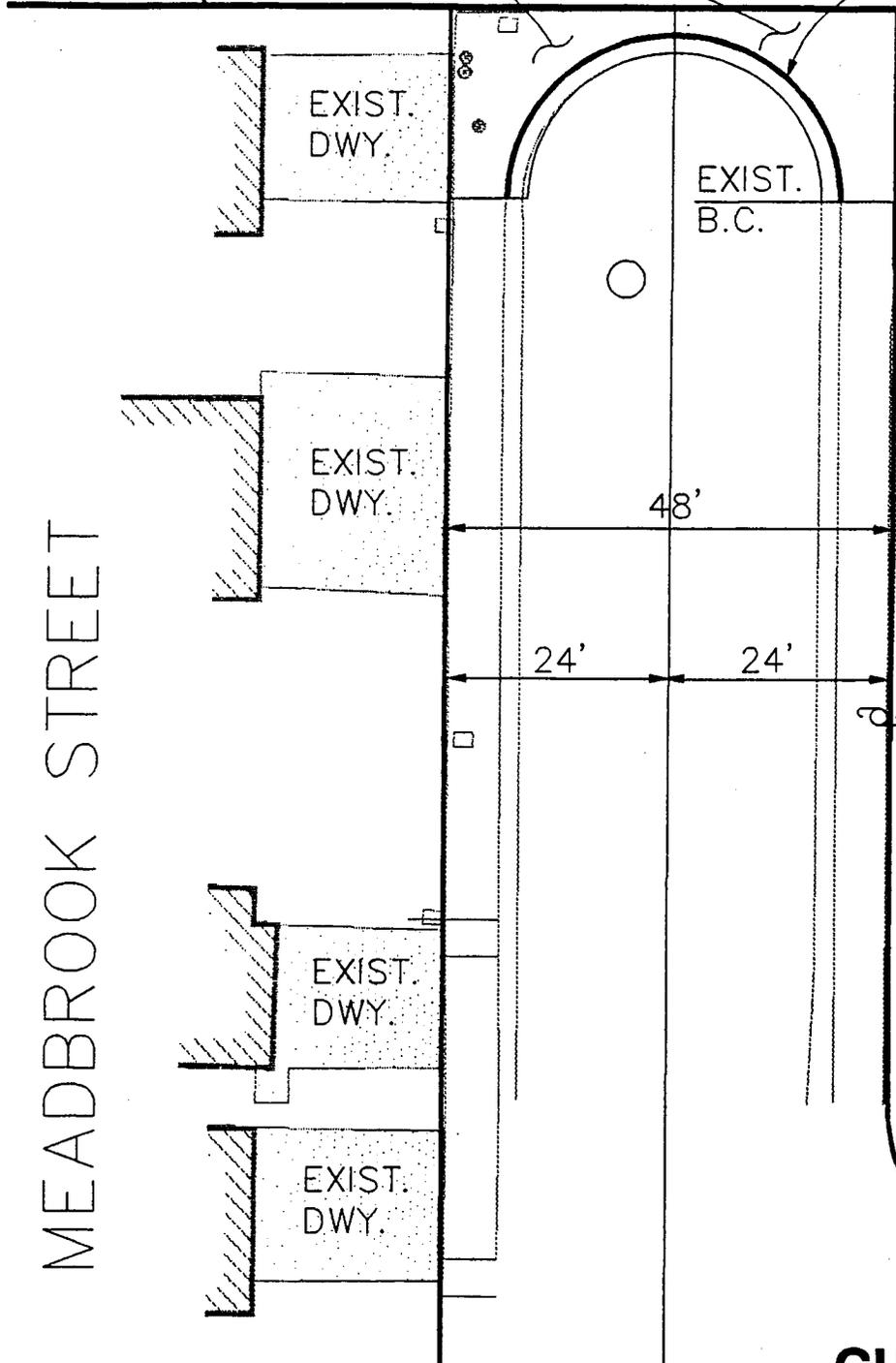
NOTE: DISABLED ACCESS RAMPS AT ALL INTERSECTIONS ARE TO BE IN COMPLIANCE WITH STATE AND LOCAL REQUIREMENTS.

SCALE 1" = 20'-0"

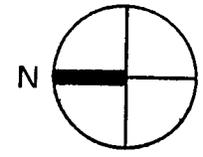


CONSTRUCT 4"
CONCRETE PAVING
EXIST. PL

REMOVE EXIST.
CURB & GUTTER
AND REPLACE
WITH ROLLED
CURB



MEADBROOK STREET



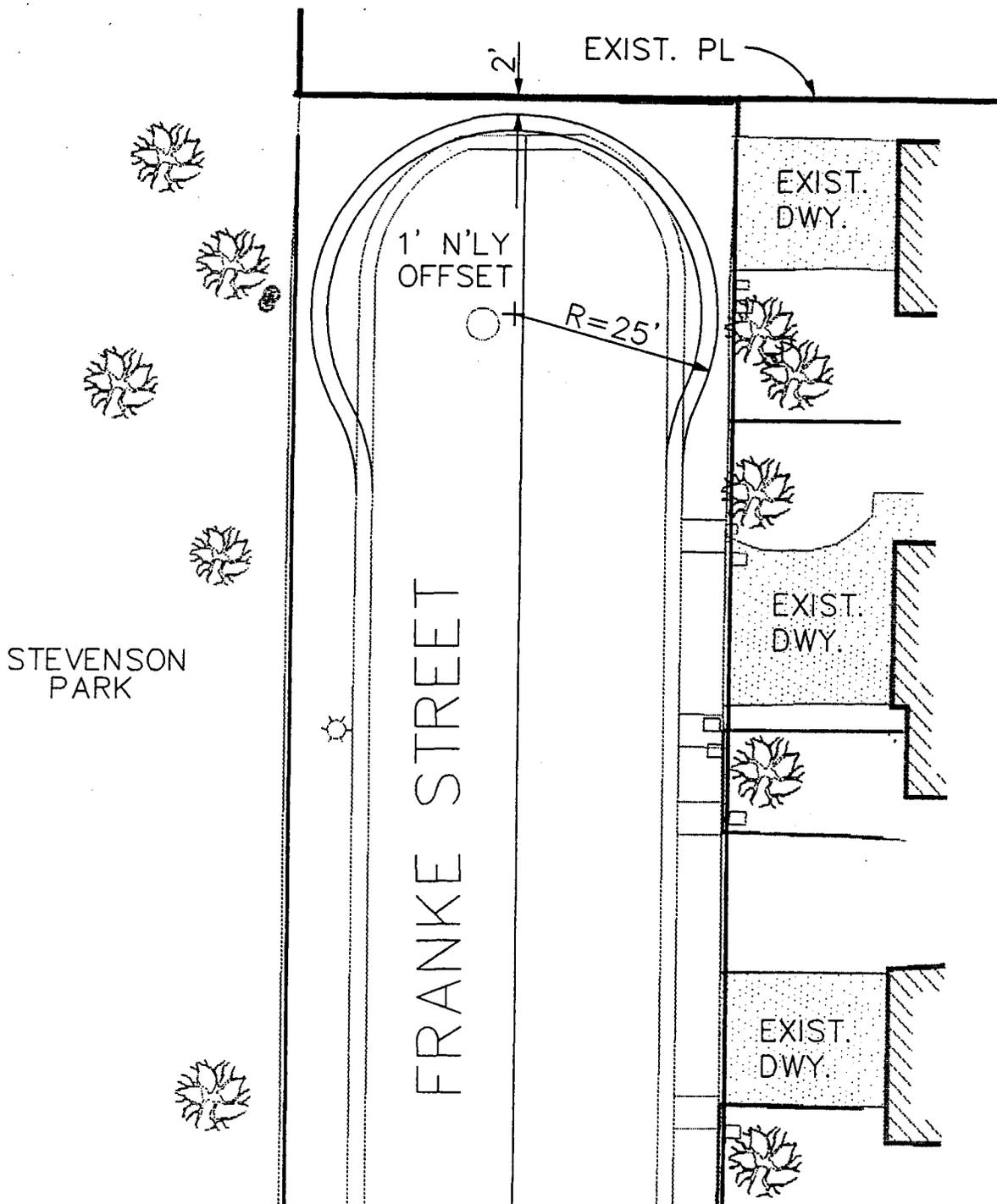
SCALE 1" = 20'-0"

CUL DE SAC: A



398 Lemon Creek Drive • Suite E
Walnut, California 91789

Meadbrook Street
48' Right of Way
36' Curb Face to Curb Face
Cul de Sac radius: 18'



STEVENSON
PARK

FRANKE STREET

1' N'LY
OFFSET

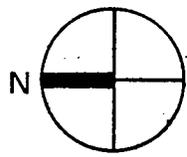
R=25'

EXIST. PL

EXIST.
DWY.

EXIST.
DWY.

EXIST.
DWY.



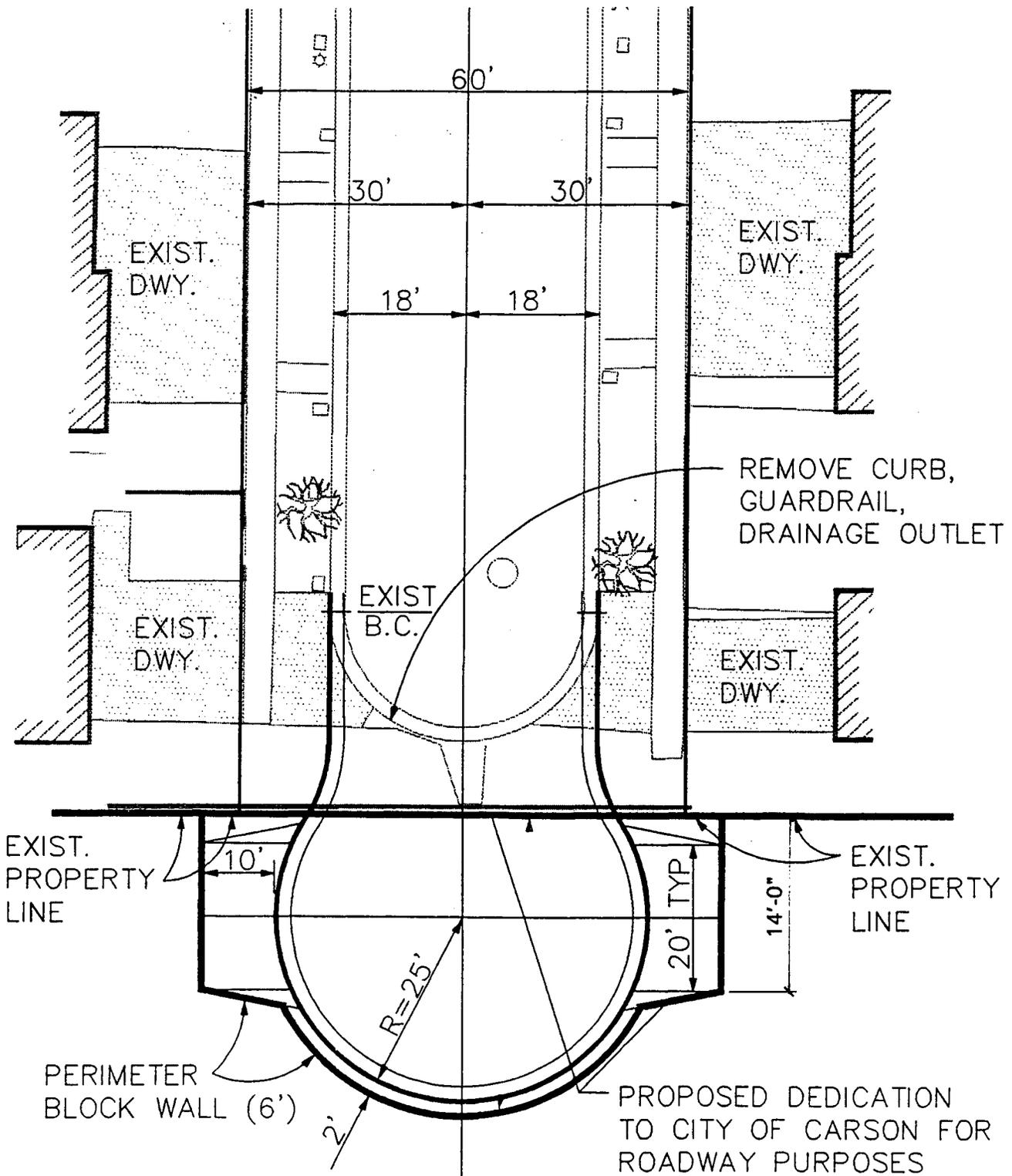
SCALE 1" = 20'-0"

CUL DE SAC: B

Franke Street
54' Right of Way
40' Curb Face to Curb Face
Cul de Sac radius: 25'
(1' N'LY OFFSET)

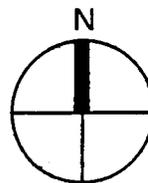


398 Lemon Creek Drive • Suite E
Walnut, California 91789



SCALE 1" = 20'-0"

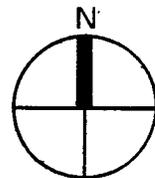
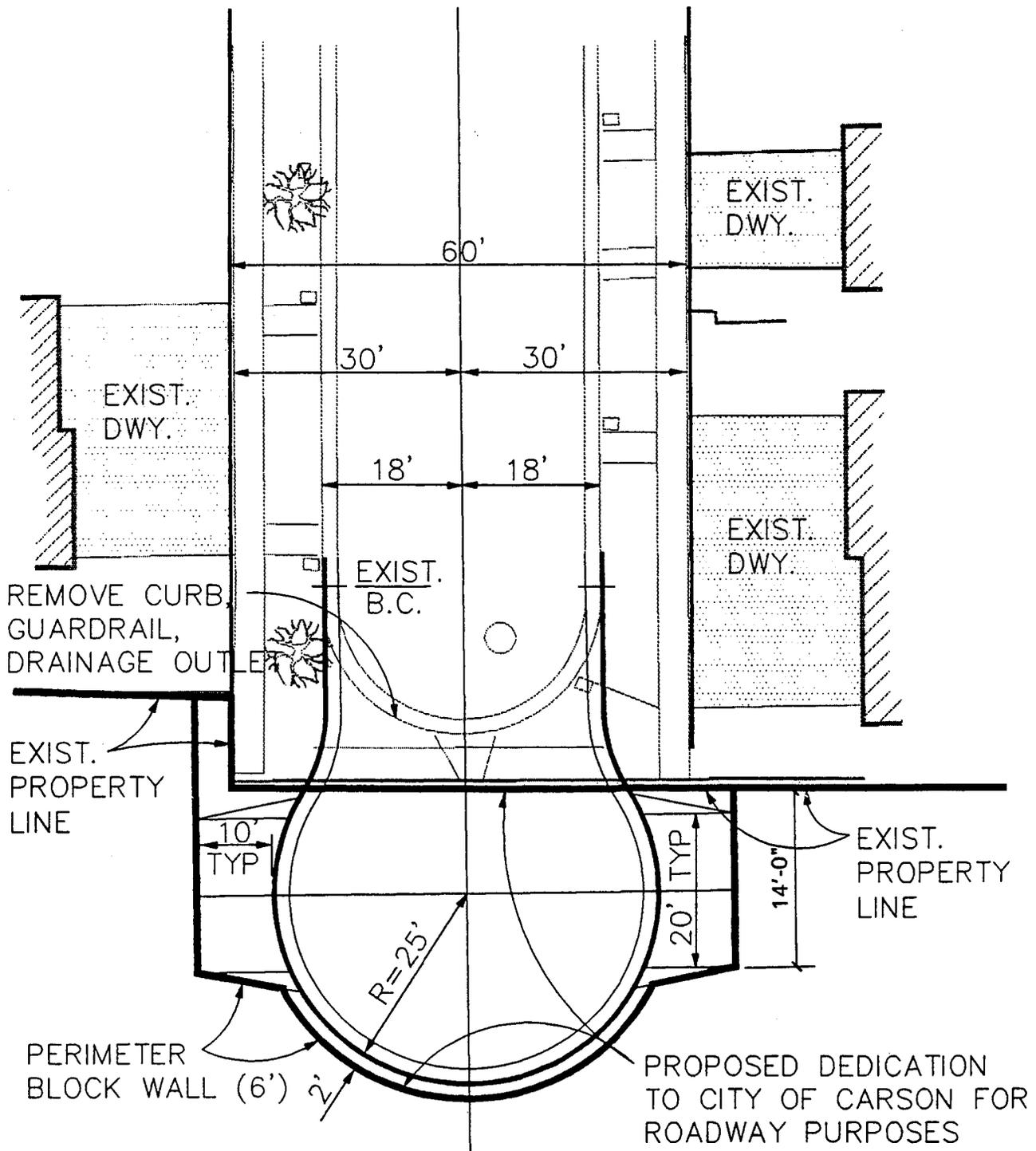
CUL DE SAC: C



Wellfleet Ave.
 60' Right of Way
 36' Curb Face to Curb Face
 Cul de Sac radius: 25'



398 Lemon Creek Drive • Suite E
 Walnut, California 91789



SCALE 1" = 20'-0"

CUL DE SAC: D

Amantha Ave.
 60' Right of Way
 36' Curb Face to Curb Face
 Cul de Sac radius: 25'



RKA
 Civil Engineers Inc.
 398 Lemon Creek Drive • Suite E
 Walnut, California 91789

c. Drainage Plan.

1) Existing Drainage.

The existing undeveloped parcels have no on-site drainage infrastructure. Rainwater crosses the parcels via surface drainage. The existing parcels can be divided into three drainage areas.

~~Parcel 1 DHV Residential~~ drains in a northwesterly direction to an existing ~~24-foot 21-0"~~ wide catch basin located in Stevenson Park adjacent to ~~Parcel 4 DHV Residential~~. The runoff then traverses Stevenson Park via P.D. 748, a system comprised of a 48" reinforced concrete pipe (RCP) and double 2"³ (high) by 4' (wide) concrete box culvert. This system outlets into an adjoining system at the intersection of Lysander Drive and Bitterlake Street. The existing system appears to be adequate to handle the existing runoff. ~~Parcel 2 DHV Commercial/Industrial~~ can be divided into two drainage areas. The easterly ~~440-foot 410-0"~~ of the parcel (6.4 acres) (from Victoria Street to the northerly property line) drains northerly into an existing concrete channel. Runoff in the channel proceeds westerly to an inlet into an existing 24" reinforced concrete pipe. The pipe runs northerly within a City of Compton sewer and storm drain easement. The 24" reinforced concrete pipe connects via this easement to the existing City of Compton storm drain system lying within Mahalo Place. The entire existing system, including the open channel, the 24" pipe, and the inlet to the pipe appears to lie off-site, entirely within the City of Compton.

The remainder of ~~Parcel 2 DHV Commercial/Industrial~~, 22.0 acres, drains northerly and northeasterly westerly. A portion of this runoff flows onto the adjacent property where it enters a storm drain lateral from a 24" 33" RCP drain in Central Avenue. The Central Avenue drain flows northerly, then westerly, via Albertoni Street, gradually increasing in size. At the point where this drain intersects the drain from Stevenson Park (see above), it is a 54" RCP.

A portion of the drainage from the westerly end of ~~Parcel 2 DHV Commercial/Industrial~~ leaves the site via surface drainage into Central Avenue, whereupon it is immediately taken into a catch basin connected to the above described 24" 33" RCP system.

The existing drainage systems appear to be adequate to handle the existing flows.

2) Proposed Drainage (see Figure V-12).

Before discussing the proposed drainage system for the ~~proposed P~~project, it is necessary to explain some of the terminology used.

The amount of rainwater runoff from a plot of land, usually measured in cubic feet per second (CFS), is called the "Q". An undeveloped parcel of land with its permeable surface (dirt) is generally assumed to produce less "Q" than a developed parcel with its impermeable pavement, roofs and sidewalks. The difference between the amount of runoff from an existing undeveloped plot and the runoff "Q" from a developed parcel is called the

incremental increase in "Q". The Federal Government has instituted a policy of requiring new developments to limit the discharge of pollutants into streams, lakes, and oceans via storm drain systems.

The National Pollution Discharge Elimination System (NPDES), as it is called, targets silt and chemical discharge from projects. The proposed drainage system for the Pproject is illustrated in *Figure V-12*. Drainage for the Pproject shall be by way of surface runoff, an underground pipe system, and retention basins. The drainage system will closely resemble the existing drainage pattern in that there will be no diversion of runoff from existing points of discharge.

~~Parcel 4 DHV-Residential~~ will drain northwesterly via surface and pipe flows to a proposed retention basin located in the northwest corner of the parcel, adjacent to the existing 21-foot 21'-0" catch basin. The retention basin will be designed to hold the incremental difference between "undeveloped" runoff and "developed" runoff. The retained difference in runoff "Q's" would be discharged as peak flows into the retention basin.

~~The east end of Parcel 2 DHV-Commercial/Industrial, is proposed for industrial use. will continue to drain in the manner it does at this time. The modified drainage pattern will require approval by the City Engineers of both the Cities of Compton and Carson prior to commencing any work. The existing pattern will not be modified.~~

The west end of ~~Parcel 2 DHV-Commercial/Industrial~~ is the proposed site for the tank farm being relocated from ~~Parcel 4 DHV-Residential~~. The tank farm itself will have a containment berm or wall around it to guard against spills. This berm or wall will also serve to contain rainwater that falls within the tank farm area.

~~The tank farm area will discharge runoff via a buried pipe running westerly easterly along the northerly property line, and connect with the existing storm drain system in Central Avenue. The inlet to the along the northern boundary.~~

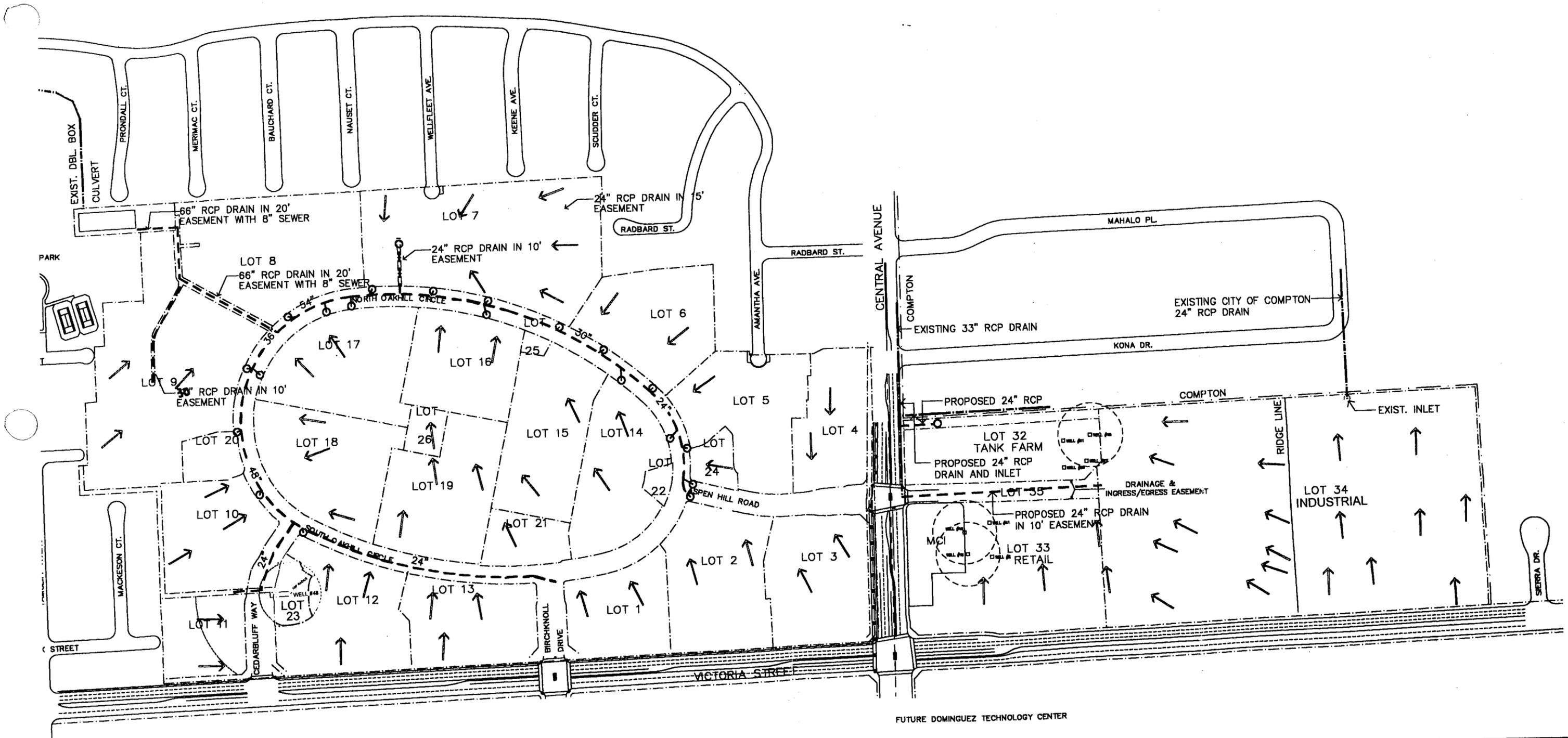
~~tank farm drainage system will incorporate a device to remove pollutants from the runoff in accordance with NPDES requirements.~~

The proposed location for the tank farm is at the downstream side of the drainage path for the west end of ~~Parcel 2 DHV-Commercial/Industrial~~.

Provision will be made to route surface drainage around the tank farm and gas plant and into the new drainage system. This will be done using graded or paved swales and additional inlets to the proposed system. The existing cross-lot drainage pattern will be discontinued.

~~Inasmuch as the majority of Parcel 2 will be left undisturbed, no increase in "Q" is expected. Any increase in "Q" will be reviewed by the City Engineer during the site approval process.~~

CONCEPTUAL DRAINAGE PLAN



CALIFORNIA STATE UNIVERSITY DOMINGUEZ HILLS

FUTURE DOMINGUEZ TECHNOLOGY CENTER

DOMINGUEZ HILLS VILLAGE SPECIFIC PLAN

PREPARED FOR THE ESTATE OF ALBERT LEVINSON



398 Lemon Creek Drive • Suite E
Walnut, California 91789

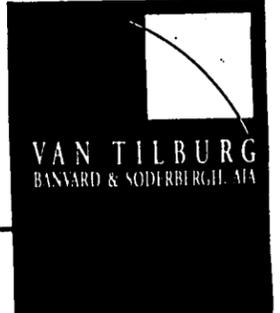
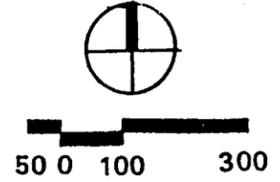


Figure V-12

All storm drain and retention systems will be designed and constructed pursuant to the latest requirements of Los Angeles County, even though the system will be privately constructed and maintained.

- 3) All required drainage improvements, including the retention basins, shall be designed and constructed in accordance with the City of Carson and Los Angeles County Flood Control District standards, and shall be reviewed and approved by both the City Engineer and L.A. Los Angeles County Flood Control District, prior to issuance of building permits.
- 4) The project is required to meet Storm Water Management regulations. The project applicant/owner shall file for a ~~National Pollutant Discharge Elimination System (NPDES)~~ permit with the California State Water Resources Control Board and abide by the conditions of the permit as issued. A copy of the ~~Notice of Intent (NOI)~~, Storm Water Prevention Plan, and Monitoring Plan shall be submitted to the Engineering Services Department a minimum of ~~thirty (30)~~ days prior to commencing grading operations.

d. Water, Reclaimed Water and Sewer Plan.

1) Water Plan (see Figure V-14).

A proposed layout for domestic water distribution is illustrated in Figure V-14. This concept is subject to modification by Southern California Water Company, which serves ~~provides water service to Parcel 1 DHV-Residential,~~ and by Dominguez Water, which serves ~~Parcel 2 DHV-Commercial/Industrial.~~

~~Parcel 2 will not require public water system improvements, inasmuch as adequate water service exists for the current uses and the tank farm relocation.~~

The water districts serving the proposed development will prepare their own plans for domestic water distribution.

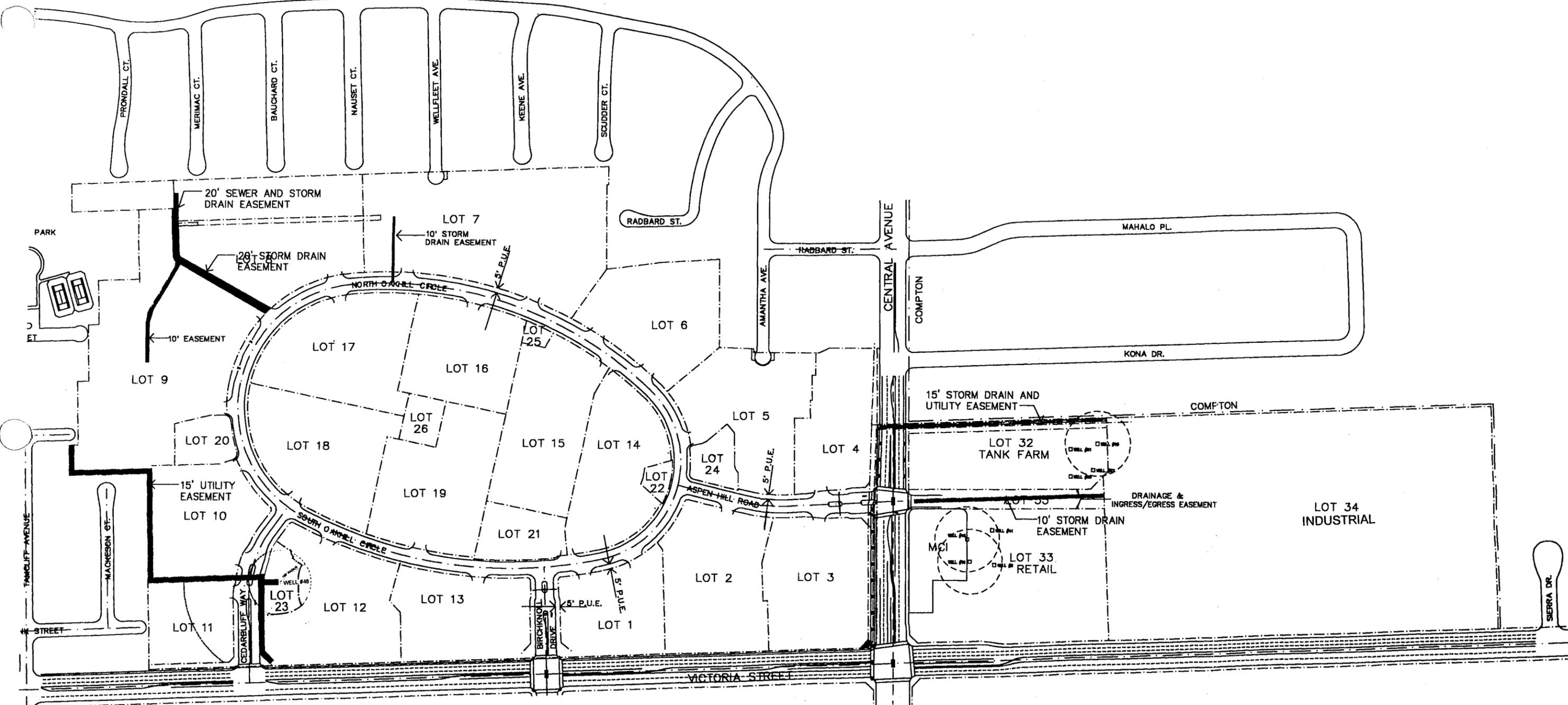
2) Reclaimed Water Plan.

A proposed layout for reclaimed water distribution is illustrated in Figure V-14. This concept is subject to modification by Southern California Water Company, which services ~~Parcel 1 DHV-Residential,~~ and by Dominguez Water, which serves ~~Parcel 2 DHV-Commercial/Industrial.~~

~~Parcel 2 DHV-Commercial/Industrial~~ will not require reclaimed water system improvements at this time. Future development on ~~Parcel 2 DHV-Commercial/Industrial~~ will identify its Reclaimed Water Plan for concurrent approval with the Design Review by the City of Carson Planning Commission.

The water districts serving the proposed development will prepare their own plans for domestic water distribution.

CONCEPTUAL EASEMENT PLAN



P.U.E. = PUBLIC UTILITY EASEMENT

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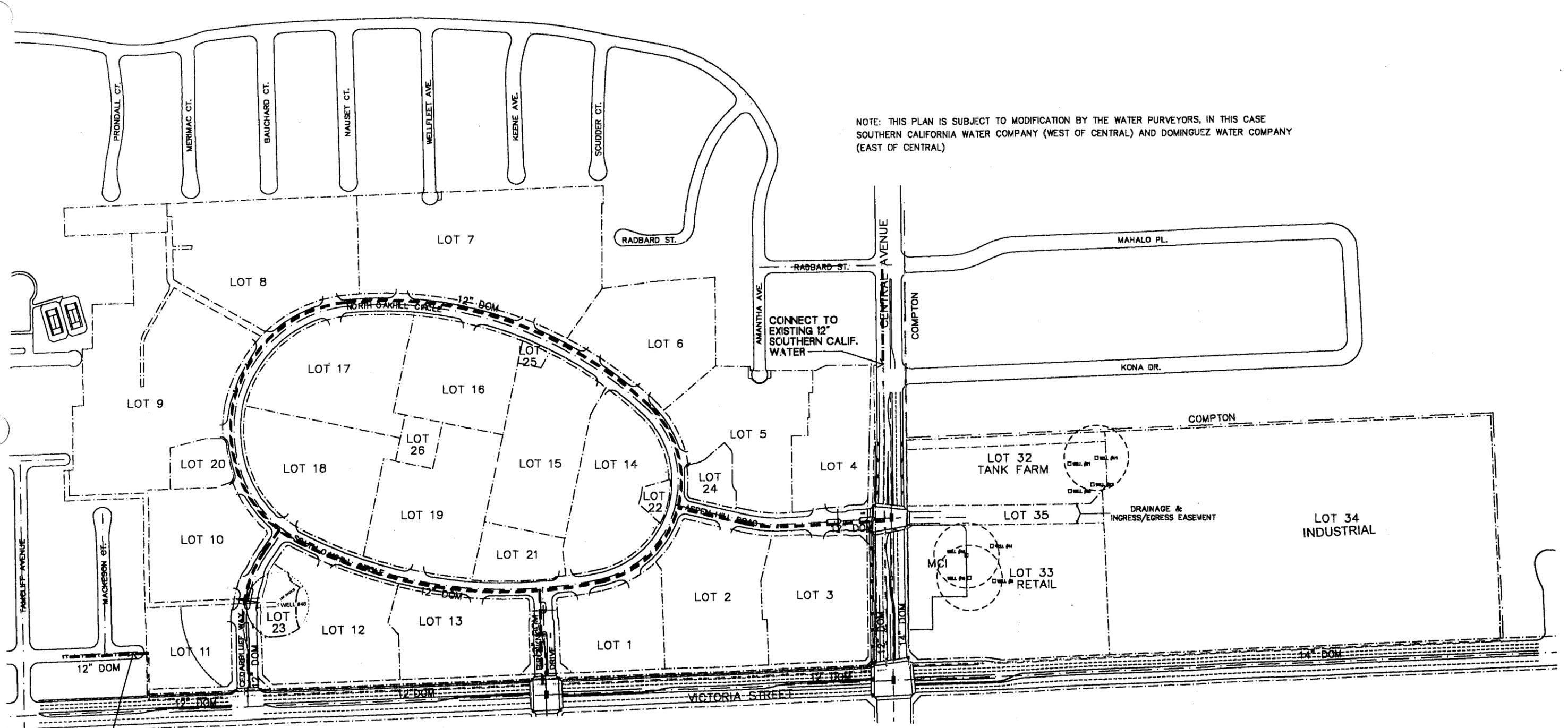


DOMINGUEZ HILLS VILLAGE SPECIFIC PLAN

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Figure V-13

CONCEPTUAL DOMESTIC WATER SYSTEM



JOIN EXISTING 12" SOUTHERN CALIFORNIA WATER IN SAGEBANK STREET CALIFORNIA STATE UNIVERSITY DOMINGUEZ HILLS

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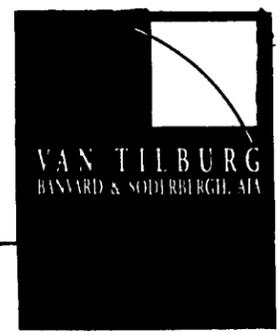
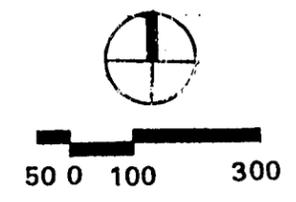


Figure V-14

3) Sewer Plan (see Figure V-15).

The Project site shall be served by a gravity sewer system designed to current County of Los Angeles criteria.

The Parcel 1 DHV Residential sewer system shall be connected to the existing off-site sewer system at Prondall Court and Nausett Court. These locations have 8" sewer main "stubbed out" for connections to future development.

~~Parcel 2 will not require sewer connections at this time. The proposed tank farm facility will generate no sewage Parcel 2 will require a sewer hook-up for the office component of the Tank Farm. Future development on Parcel 2 DHV Commercial/Industrial will identify its Sewer Plan for concurrent for approval with the Design Review by the City of Carson. Planning Commission. The Sewer Plan will may require City of Compton approval.~~

e. Grading and Excavation Plan.

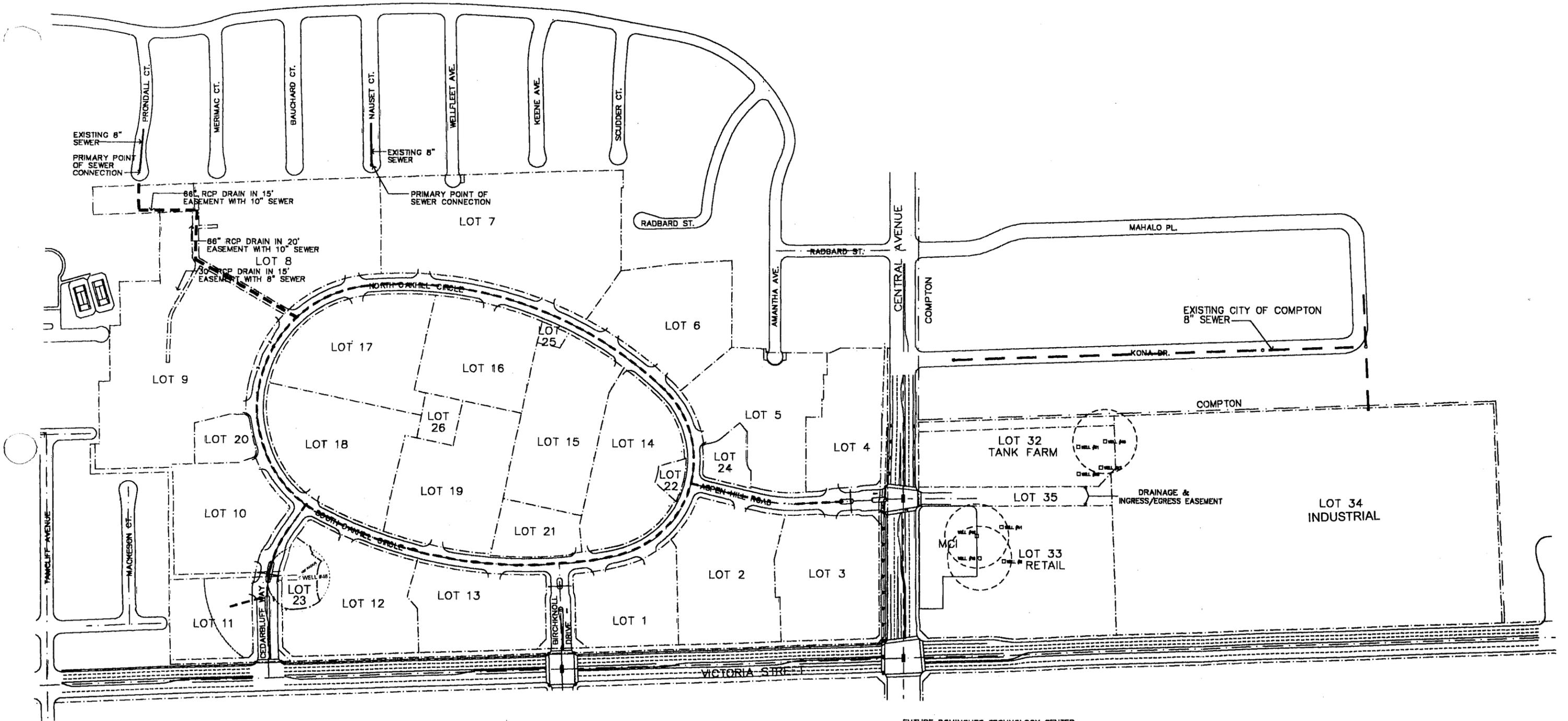
1) Grading Plan Description.

The Dominguez Hills Village Grading Plan is a result of grading studies performed, and has achieved as close to a no-import/no-export (balanced) grading as possible. This will result in minimal site revision to the existing topography. The modifications in to the current site topography of the site will be implemented to achieve proper surface water drainage and suitable grading for the indicated roads, and as required for the buildout of the Project.

2) Grading Plan Development Standards.

- a) All grading activities shall be conducted in substantial conformance with the overall *Grading Concept*, and shall implement any grading-related mitigation measures outlined in the EIR.
- b) Prior to any development within any area of the Specific Plan, an overall Conceptual Grading Plan for the project Site (if revised), for the Phase, and for the Individual Planning Area being approved shall be submitted for Planning Department approval. The Grading Plan for each such area shall be used as a guideline for subsequent detailed Grading Plans for individual stages of development within that area, and shall include: techniques employed to prevent erosion and sedimentation during and after the grading process; approximate time frames for grading; identification of areas which may be graded during higher probability rain months (November through April), and preliminary pad and roadway elevations.

CONCEPTUAL SEWER PLAN



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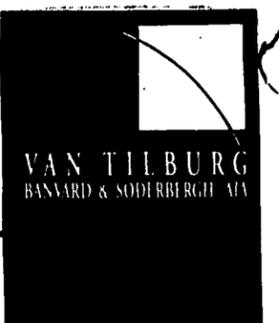
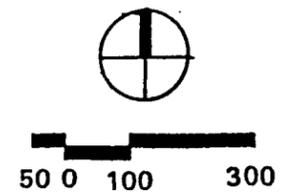


Figure V-15

- c) All streets shall be designed at minimum practical gradients. Gradients on streets shall typically be in the range of 0.4% to 7%. Short sections of streets may have grades exceeding 7% where required to allow the new development to relate vertically with the adjoining existing development.
- d) The overall slope, height and grade of any cut and fill slope shall be developed in concert with existing natural contours and scale of the natural terrain of a particular site.
- e) Slopes exceeding ten (10) feet (10') in vertical height shall be hydro-mulched prior to final acceptance.
- f) Prior to initial grading activities, a soils report and geotechnical study shall be performed to further analyze on-site soil conditions and slope stability, and shall include appropriate measures to control erosion and dust.
- g) Detailed Grading Plans shall be prepared prior to any on-site grading for each project or group of projects.
- h) Slopes shall not be steeper than 2:1. Slope heights shall be kept to a minimum throughout the Pproject, generally less than ten feet 10-0'. However, in some locations, slopes exceeding ten feet 10-0' in height may be required in order to maintain the vertical relationship between the existing developed areas and the Pproject. Slopes exceeding ten feet 10-0' in height shall, wherever possible, be located in rear yards where they will be screened from view by the residential structures.
- i) Where cut-and-fill slopes are created higher than ten (10) feet (10'), Landscaping and Irrigation Plans shall be submitted to the Planning Department prior to Grading Plan approval.
- j) The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibility of other parties.
- k) Angular forms shall be discouraged. The graded form shall reflect natural terrain, where possible.
- l) Potential brow ditches, terrace drains, or other minor swales, determined necessary at future stages of Pproject review, shall be lined with natural erosion control materials or concrete.
- m) Unless otherwise approved by the City of Carson Department of Engineering, all cut-and-fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal feet to one (1) vertical foot. The Grading Plan will reflect a contouring intended to control slope erosion.
- n) A Grading Permit shall be obtained from the City of Carson, as required by the City Grading Ordinance, prior to grading.

- o) Soil stabilizers should be used to control dust as required by SCAQMD Rule 403.
- p) *Figure V-16* is an exhibit illustrating those locations around the perimeter of Parcel 4 DHV Residential where differences in elevation may exist between existing perimeter site conditions and the proposed development.

Differences in elevation are conceptual in nature and maybe adjusted for submittal of final grading plan to the City Engineer.

The grade differences illustrated in *Figure V-16* are the result of a number of factors. The primary factor, resulting in possible perimeter walls or slopes, is the need to provide adequate cover on the proposed storm drain, and at the same time, direct run-off to the storm drain and away from the boundary of the project. The storm drain cannot be lowered because of its fixed point of connection at Stevenson Park.

This is the reason for the walls shown along the westerly side of the development and along the northerly project boundary between Stevenson Park and Keene Avenue.

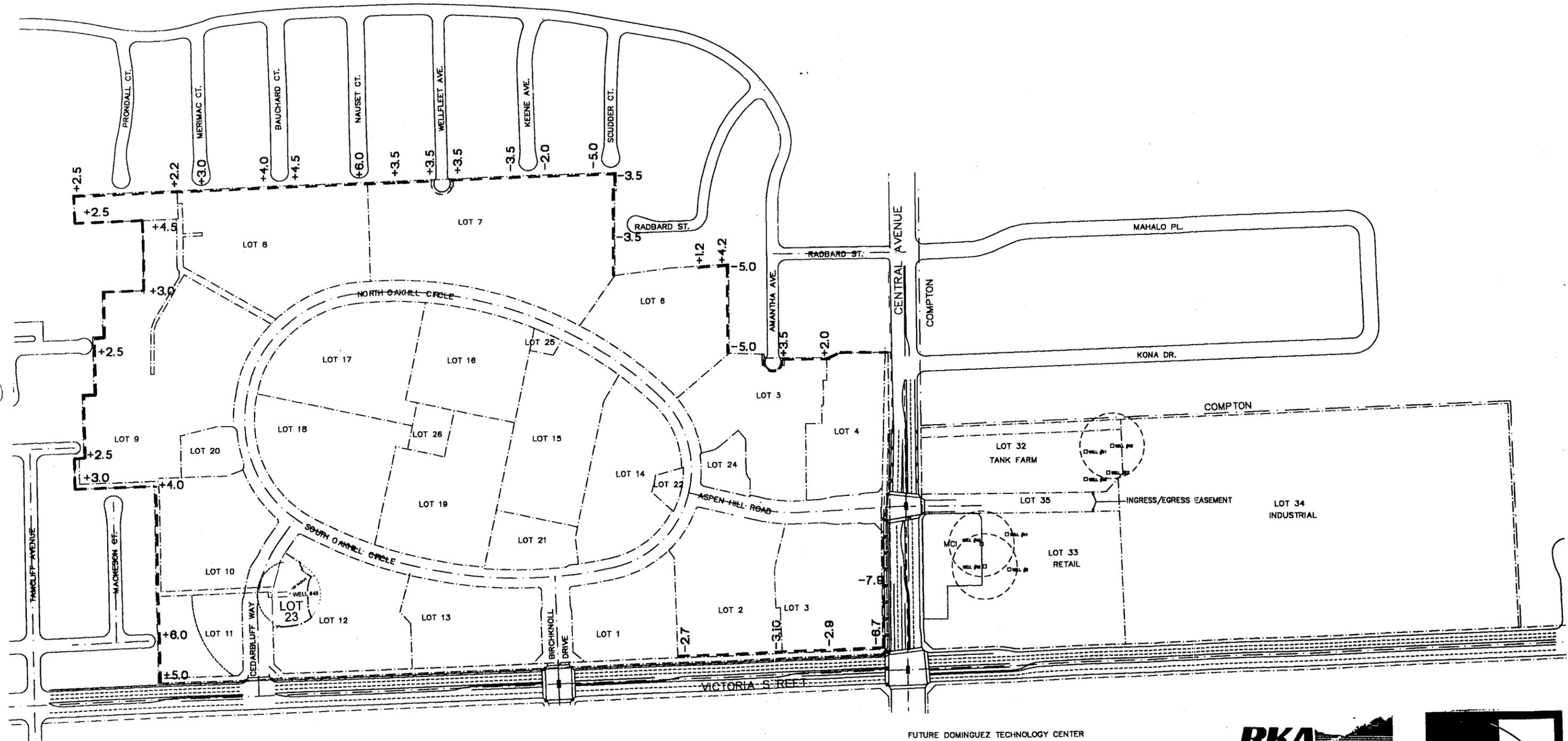
Retaining walls noted along the northerly and northeasterly sides of Parcel 4 DHV Residential, from Keene Avenue to Central Avenue, are the result of off-site grade differentials between existing lots. Efforts made to "split the difference" in grade between off-site lots with and proposed pad elevations result in the need to construct retaining walls on-site.

Perimeter retaining walls along the northerly and easterly boundaries of the site are to be constructed in conjunction with their respective phases. Temporary 2:1 slopes may be graded in the interim.

Perimeter retaining walls may be combined with perimeter "security" walls, and shall in any case be constructed of materials matching those of the security walls.

- q) The project applicant shall comply with all recommendations identified within the Geotechnical Feasibility and Limited Site Seismicity Study, dated May 28, 1993, prepared by Pacific Soils Engineering, Inc. All recommendations of the certified geologist's study and requirements of the City's grading ordinances shall be included in the final grading plan. Recommendations within the study regarding the following issue areas shall be approved by the City Engineer and incorporated into the final grading plan:
 - a. Site Clearing and Preparation
 - b. Over-excavation, Recompaction and Fill Placement
 - c. Foundation Design
 - d. Retaining Walls, Utility Trench Backfill and Drainage, and
 - e. Preliminary Pavement Design

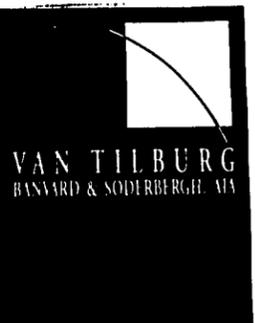
CONCEPTUAL RETAINING WALL PLAN



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DOMINGUEZ HILLS VILLAGE SPECIFIC PLAN

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Figure V-16

- r) An Erosion Control Plan shall be approved by the District Engineer, Building and Safety Division, prior to issuance of a Grading Permit. The Erosion Control Plan shall outline methods that shall be implemented to control erosion from graded or cleared portions of the site. The erosion control measures may include one or more of the following:
- a. Placing sandbags along the perimeter of the project site prior to initial grading if grading is to be undertaken during the rainy season (October to March).
 - b. Minimizing the length of time that soils lie exposed.
 - c. Revegetating (landscaping, hydro seeding or any other method of providing vegetative cover) graded areas, in a manner approved by the City if determined to be required for erosion control in areas not planned for development until subsequent phases. Landscaping and hydro seeding should be under the direction of a licensed landscape architect and approved by the City.
- s) Excavation involving more than 1,000 cubic yards on vacant land must have a certified pest/rodent control service, licensed by the California Department of Food and Agriculture and Los Angeles County Agriculture Department, if determined if there is a rodent problem at the project site. If there is a rodent problem, the contractor/developer must provide a rodent control and/or extermination program prior to commencement of excavation. Such rodent control and/or extermination program must comply with the eradication methods specified by the pest/rodent control service, until the service can provide written certification to the City that there is a 90 percent control of rodents.
- t) In order to reduce fugitive dust emissions, the following measures shall be implemented during project grading and/or construction to the satisfaction of the City Engineering Services Department.
- a. The project shall comply with State, City, and UBC dust control regulations, so as to prevent the soil from being eroded by wind, creating dust, or blowing into a public road or roads or other public or private property.
 - b. Adequate watering techniques shall be employed to partially mitigate the impact of construction-generated dust particulates. Portions of the project site that are undergoing earth moving operations shall be watered such that a crust will be formed on the ground surface and then watered again at the end of the day. Unpaved construction roads shall be watered at least three times a day.
 - c. SCAQMD Rule 403, (as amended), shall be adhered to, in order to ensuring ensure the clean up of the construction-related dirt on approach routes to the site, and the application of water and/or chemical dust retardants that solidify loose soils shall be implemented for construction vehicle access, as directed by the City Engineer. This shall include covering, watering or otherwise stabilizing all inactive

soil piles (left more than 10 days) and inactive graded areas (left more than 10 days).

- d. The wheels and lower portions of transport trucks shall be sprayed with water before leaving the construction area.
 - e. Any vegetative ground cover to be utilized on-site, in common residential or retail/industrial lots, shall be planted within 30 days of issuance of certificates of occupancy to reduce the amount of open space subject to wind erosion. Irrigation shall be installed to maintain the ground cover.
 - f. Grading activity shall be suspended when local winds exceed 30 miles per hour and during first and second stage smog alerts.
 - g. All trucks shall maintain a minimum of two feet of freeboard.
 - h. All trucks hauling dirt, soil or other loose dirt material shall be covered.
- u) Prior to the issuance of any grading permits, the project proponent shall produce evidence acceptable to the Community Development Director, that:
- a. All construction vehicles or equipment, fixed or mobile, operated within 4,000 feet ~~1,000-0'~~ of a dwelling shall be equipped with properly operating and maintained mufflers.
 - b. All operations shall comply with the City of Carson Noise Ordinance.
 - c. Stockpiling and/or vehicle staging areas shall be located as far as practicable from dwellings.

Notations in the above format, appropriately numbered and included with other notations on the front sheet of grading plans, will be considered as adequate evidence of compliance with this condition.

- v) Prior to excavation of the contaminated and other areas for rough grading, the project sites shall be cleared of all excess vegetation, surface trash, piping, debris and other deleterious materials. These materials shall be removed and disposed of properly (recycled if possible). Trucks hauling this material shall utilize Central Avenue to ~~SR State Route-91~~ to avoid residential areas.
- w) Unless underground utility locations are well documented, as determined by the City of Carson Engineering Services Department, the project applicant shall perform geophysical surveys prior to excavations to identify subsurface utilities and structures. Pipelines or conduits which may be encountered within the excavation and graded areas shall be relocated or be cut and plugged according to the applicable code requirements.
- x) Proper excavation procedures shall be followed to comply with OSHA's Safety and Health Standards (20 CFR Section 1926). If applicable, the ~~South Coast Air Quality Management District (SCAQMD) Rule 1166~~ permit shall be obtained prior to the commencement of excavation and remedial activities.

- y) During excavation activities, diversion ditches and/or temporary provisions (berms) shall be employed, as necessary, to limit surface water from entering the excavation areas and to provide drainage of adjacent areas. Adequate pumps and sumps shall be made available on the construction site to handle flows into the excavation areas and shall be approved by the City Engineer.
- z) Trained environmental personnel, approved by the City Community Development Director, shall monitor the excavations on a full time basis to identify and supervise the segregation of the hydrocarbon contaminated soils from soils that have concentrations below the treatment goal of 1,000 parts per million total petroleum hydrocarbon (ppm TPH).
- aa) An excavation plan and its design shall be submitted by the Contractor ~~to the~~ to the City Engineer for approval prior to grading permit issuance. Excavation walls shall be sloped back to the appropriate angle to meet Cal-OSHA requirements. No person shall be allowed to enter an excavation area without wearing the proper personnel protective equipment as per the site Health and Safety Plan. Daily inspections shall be made of the excavations for tension cracks, bulging, or other indication of cave-ins or slides. In the event that excavation walls appear to be unstable, the excavation/remediation work shall cease until the necessary measures have been taken to safeguard all persons and property.
- bb) The project applicant shall follow all recommendations within the Remedial Action Plan ~~RAP~~ regarding the construction and operation and closure of the Bioremediation Treatment Plot. Construction plans and monitoring reports shall be submitted to the City Engineer for approval and review, respectively.
- cc) The project applicant shall follow all recommendations contained within the adopted Remedial Action Plan ~~RAP~~ for the project site.
- dd) The clean-up level for crude oil is 1,000 mg/kg TPH-E (EPA Method 8015). This criterion will apply to soil excavated during remediation and to soil excavated in the future as a result of geotechnical removals. TPH-impacted soil, if used as backfill at the properties, will be treated to less than 1,000 mg/kg. The confirmation samples will be analyzed by a state-certified laboratory for TPH-E using EPA Method 8015. During excavation and treatment procedures, field screening techniques may be used to monitor removal and remedial progress.
- ee) Excavated soil containing TPH will be placed in designated treatment areas utilizing bioremediation in the form of land farming. TPH concentrations in remediated soil will be verified by sampling the soil in a grid pattern (see Appendix 13.6, HAZARDOUS MATERIALS REPORTS). Samples may be screened on-site using field equipment or kits, but will ultimately be analyzed by a state-certified laboratory using EPA Method 8015 (extractable). The treated soil

will be removed from the treatment areas when an overall maximum average TPH concentration of 1,000 mg/kg is obtained.

- ff) Dust and volatile organic emissions from excavation activities shall be controlled through water spray or by employing other approved vapor suppressants including hydramulch spray in accordance with ~~Regional Water Quality Control Board (RWQCB) Waste Discharge Requirements and the South Coast Air Quality Management District (SCAQMD) permit conditions.~~
- gg) During excavation, monitoring shall be conducted to measure the volatile organic at a distance no more than ~~3~~ three inches above the freshly excavated soil by using flame ionization detectors (FID). If the 50 ppm value as specified by SCAQMD Rule 1166 is exceeded, mitigation actions such as voluntary shut down of the operation shall be implemented. Written records of measurement and FID (or equivalent) calibrations shall be made and kept on file. Daily perimeter air monitoring shall also be performed during excavation activities. ~~If~~ and when monitoring shall also be performed during excavation activities. If and when petroleum hydrocarbon odor is noticed that could potentially ~~mitigate travel~~ off-site and cause a public nuisance condition, the situation shall be mitigated immediately. Voluntary shut down of operation may be implemented prior to the control of volatile organic emissions until odor control can be achieved.
- hh) Excavated soil containing volatile constituents as determined by field screening with an organic vapor meter will be analyzed using EPA Method 8020 and/or 8010. The proposed clean-up levels for soils ~~found~~ to contain BTEX will be 0.3, 1.22, 0.84 and 0.49 mg/kg, respectively. The identification of other volatile compounds using method 8010 will be addressed on a ~~case by case~~ case basis, including notification and discussion with the RWQCB.
- ii) If asbestos is identified in below-ground structures, the project applicant shall obtain an Asbestos Abatement Contractor to survey the project site and assess the potential hazard. The project applicant shall contact the SCAQMD and the City of Carson prior to asbestos removal.
- jj) All structures must be cleaned of hydrocarbons prior to off-site transportation, or hauled off-site as a waste in accordance with applicable regulations.
- kk) Structure removal operations shall comply with all regulations and standards of the ~~South Coast Air Quality Management District (SCAQMD).~~
- ll) The project applicant shall post signs prior to commencing remediation, alerting the public to the site cleanup operations in progress. The size, wording and placement of these signs shall be reviewed and approved by the City Community Development Department.

- mm) The applicant shall comply with State Division of Oil and Gas ~~DOG~~ notification and abandonment requirements regarding existing active and inactive abandoned oil wells. The applicant shall submit a ~~Notice of Intent NOI~~ and receive DOG Clearance prior to receiving grading permits.
- nn) The applicant shall provide for adequate methane gas protection, to the satisfaction of LA Los Angeles County Department of Public Works and the City Engineer, as reflected in grading plans and other appropriate design documents.
- oo) During remediation, if any soil is found to be hazardous due to contamination other than petroleum hydrocarbons, it will be segregated, stockpiled, and handled separately. All sample collection and analysis procedures will follow methods from EPA SW-846 and/or the CCR, Title 22, Division 4, Chapter 30, Article 11.

f. Phasing Plan.

1) Phasing Plan Description.

This proposed Project has nine (9) phases to be developed over a projected six (6) year period. The phasing described herein may be accelerated or vary somewhat in response to market demands. The phasing has been coordinated, and will ensure the logical and orderly bioremediation of the site, extension of roadways, utilities, and infrastructure. (See Figure V-17 and Tables on pages V-44, V-45, and V-46, V-48 to V-51, Phasing Plan.)

If the phasing varies in sequence, the City Planning Department and Planning Commission will have the opportunity to review and approve the extension of the site infrastructure required to serve the Planning Areas affected.

~~An application for the oil well ordinance has been prepared and is being processed concurrently with the proposed revisions to the Specific Plan and the Environmental Impact Report.~~

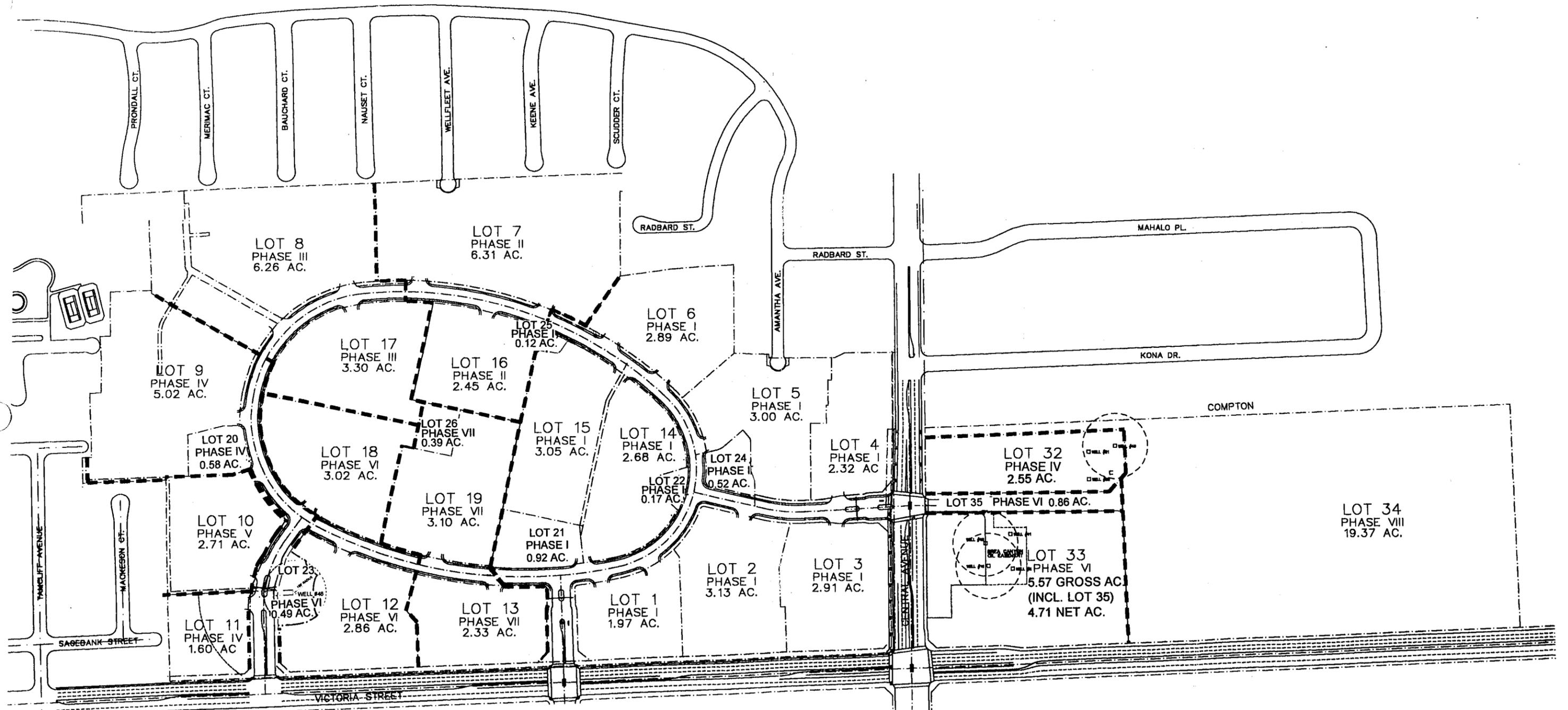
A Conditional Use Permit (C.U.P.) for the tank farm and gas plant and operation of the Parcel 4 ~~DHV Residential Oil Well~~ will be required.

The private roadway improvements, utility, storm drain, and sewer buildout, and traffic mitigation measures will be phased and developed in accordance with need, impact, and future demand.

2) Project Phasing Standards.

- a) Prior to recordation of any final subdivision map, after the approval of the Specific Plan Master Map, Improvement Plans for the respective landscaped areas, utilities, storm drain and sewer buildout, and/or plans to mitigate an environmental impact for the

PHASING PLAN



DOMINGUEZ HILLS VILLAGE

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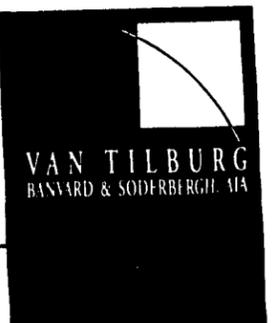
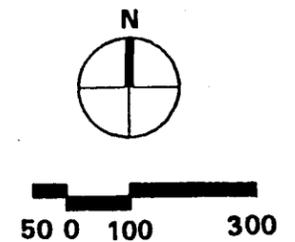


Figure V-17

respective tract, shall be submitted to the City Planning Department and subject to approval by the Planning Commission. The Improvement Plans shall include:

- Final Site Plan.
- Final Grading Plan and Civil Engineering Drawings.
- Landscape and Irrigation Plans, including Fence Treatment, certified by a Landscape Architect.
- Special Treatment/Buffer Area Treatment Plans.

- b) Each Residential Planning Area (i.e., lot) shall be developed by Housing Developers concurrently with the Owner's development of its adjacent common area landscape development zones and applicable infrastructure.
- c) Construction of the development permitted hereby herein, including recordation of final subdivision maps, may be done progressively in stages, provided that the following 1) adequate vehicular access, public facilities and infrastructure is constructed to adequately service the dwelling units, or as needed for public health and safety in each stage of development, and 2) further provided that such phase of development conforms substantially with the intent and purpose of the Specific Plan Phasing Program.
- d) Designation and/or dedication of park land and open space acreage, and, where necessary, payment of Parks and Recreation "in lieu" fees, necessary to satisfy both City and State requirements, will be based on the amount of dwelling units and population generated by the buildout of the various phases, and also based on credits for on-site open space and amenities provided by the Dominguez Hills Village Specific Plan as adopted by the City Council.
- e) Planning Areas which are dependent on or share adjacent Planning Areas for access shall be phased in a manner that provides the necessary infrastructure prior to tentative map approval.
- f) In addition to the buildout of the common area recreation facilities, all developments exceeding 160 dwelling units per acre shall provide amenities as outlined in the Open Space and Amenities Plan.

3) Residents' Facilities Sites and Project Phasing.

Phase 1: In order to ensure timely development of public facilities, a Phasing Plan has been prepared which will include the buildout of the main public space on lot 15A 21, and secondary parks on lots 15B 22 and 15D 24.

- The Entry Drives: The guard gated main Birchknoll Drive entry to Parcel 1 off Victoria Street will be fully improved, as will the gated Aspen Hill Road residents' access drive to Parcel 1 off of Central Avenue. and that portion of the Secondary Entry at the western portion of Parcel 1 on Victoria as required to provide access to the

~~Child Care Facility.~~ All landscaping as shown in the *Design Guidelines* will be installed to the extent that the roadways and parks are completed. ~~The loop road North and South Oakhill Circle will terminate at the west end of the park (Lot 15A 21), and loop around to the western edge of Lot 6.~~

- ~~The parks proposed on Lots 15A, 15B 21, 22 and 15D 24 will be built out, including the 2,000 4,000 square foot s.f. community building on Lot 15A 21. The Child Care Facility on Lot 12 will also be built.~~
- All the utilities, storm drains, retention basin, sewers, etc. required to service this ~~356 246~~ unit development will be in place, and with easements and improvements, as required for the health and safety of the occupants.
- The tank farm relocation from its current location (approximately within Lot 20 18 - see Oil Production Section IV) to its proposed location on ~~Lot 22 32~~ will occur as part of Phase 1, as described on ~~Page IV-12~~.
- The landscaped project boundaries and walls fronting on Victoria Avenue ~~Street~~ and Central Avenue will be built out as part of Phase 1.

~~Phases 2 and 3: Roads will be extended with common area landscaping and improvements, and as well as required storm drains, sewers and utilities will be extended to service all lots within these phases, the points of connections and driveways at lots 8 and 17.~~

~~Phase 4: The roadway North and South Oakhill Circle will be extended to include the completion of the secondary residents' access off of Victoria Cedarbluff Way; this roadway will be installed as a part of Phase 4. The tennis courts on Lot 40 20 will be built. The child care facility on Lot 11 will also be built prior to the occupancy of Phase 4.~~

~~Phases 5 and 6: The loop road North and South Oakhill Circle will be completed (as will Parcel 4 DHV Residential storm drains, sewer and utility main distribution loop), and the park on Lot 15G 23 will be built.~~

~~Phase 7 will be the completion of the buildout of Parcel 4 DHV Residential.~~

~~Phases 8 and 9 will represent the buildout of the balance of the industrial component, completing the entire 99.4 100.23 acre development contemplated herein. The Industrial Component may be developed as one development, and may occur in earlier phases.~~

- 4) ~~Dates indicated herein are approximate. The dates contained herein shall not be interpreted as final or binding, the market climate at the time of development will dictate the final development schedule.~~

Oil Production/Remediation Stages A & B precedes:

Phase 1: January 1996

<u>Land Use</u>	<u>Lot #</u>	<u>Area</u>	<u>Density</u>	<u>Units</u>
<u>Housing Type 'A 1'</u>	<u>Lot 6</u>	<u>2.8</u>	<u>8 du/ac</u>	<u>22</u>
<u>Housing Type 'A 2'</u>	<u>Lot 5</u>	<u>3.1</u>	<u>12 du/ac</u>	<u>36</u>
<u>Housing Type 'B'</u>	<u>Lot 1</u>	<u>1.0</u>	<u>16 du/ac</u>	<u>31</u>
	<u>Lot 4</u>	<u>2.2</u>		<u>34</u>
<u>Housing Type 'C'</u>	<u>Lot 2</u>	<u>3.1</u>	<u>18 du/ac</u>	<u>56</u>
	<u>Lot 3</u>	<u>3.0</u>		<u>54</u>
	<u>Lot 17</u>	<u>3.1</u>		<u>56</u>
<u>Housing Type 'D'</u>	<u>Lot 16</u>	<u>2.9</u>	<u>23 du/ac</u>	<u>67</u>
<u>Easements and Retention Basin</u>	-	<u>2.1</u>	-	-
<u>Child Care Center</u>	<u>Lot 12</u>	<u>1.6</u>	-	-
<u>Roads</u>	-	<u>2.1</u>	-	-
<u>Park</u>	<u>Lots 15A, 15B,</u> <u>15D, 17A</u>	<u>1.8</u>	-	-
<u>Tank Farm</u>	<u>Lot 22</u>	<u>2.3</u>	-	-
<u>Phase 1 Subtotal</u>		<u>32.0</u>	-	<u>356</u>

Phase 1: Winter 1998 - 1999

Land Use	Lot #	Area	Density	Units
Phase 1 Residential (Revised):				
Housing Type C	Lot 1	1.97 ac	17.26 du/ac	34
Housing Type C	Lot 2	3.13 ac	16.29 du/ac	51
Housing Type C	Lot 3	2.91 ac	15.12 du/ac	44
Housing Type B	Lot 4	2.18 ac	8.26 du/ac	18
Housing Type B	Lot 5	3.01 ac	9.30 du/ac	28
Housing Type B	Lot 6	2.89 ac	8.30 du/ac	24
Housing Type A-1	Lot 14	2.68 ac	8.21 du/ac	22
Housing Type A-1	Lot 15	3.05 ac	8.20 du/ac	25
Parks	Lots 21, 22, 24, 25	1.73 ac	-	-
Roads		4.08 ac	-	-
Easements/Retention Basin	Lot 27	1.45 ac	-	-
Phase 1 Subtotal		29.08 ac	8.46 du/ac	246

Oil Production/Remediation Stage C precedes:

Phase 2: Winter/Spring 1997 Spring/Summer 1999

Land Use	Lot #	Area	Density	Units
Housing Type 'A-2'B	Lot 7	6.3 6.31	9.35 du/ac	7659
Housing Type 'C'A-1	Lot 48 16	2.5 2.45	9.80 du/ac	45 24
Roads	-	0.9	-	-
Phase 2 Subtotal		9.7 9.66	-	121 83

Oil Production/Remediation Stage D precedes:

Phase 3: Fall 1997 Spring 2000

Land Use	Lot #	Area	Density	Units
Housing Type 'A-4'B	Lot 8	6.2 6.06	8.91 du/ac	50 54
Housing Type 'C'A-1	Lot 49 17	3.3 3.30	9.39 du/ac	59 31
Roads	-	0.7 0.57	-	-
Phase 3 Subtotal		10.2 9.93	-	109 85

Oil Production/Remediation Stage E precedes:

Phase 4: Spring 1998 Winter 2000 - 2001

Land Use	Lot #	Area	Density	Units
Child Care Center	Lot 11	1.6		
Housing Type 'A-2'B	Lot 9	4.9 5.02	8.96 du/ac	59 45
Tank Farm (Stage E)	Lot 32	2.55		
Roads	-	4.3 1.2	-	-
Park	Lot 40 20	0.6 0.58	-	-
Phase 4 Subtotal		6.8 10.95	-	59 45

Corresponds to Oil Production/Remediation - Stage F

Phase 5: Summer 1998* Spring 2001

Land Use	Lot #	Area	Density	Units
Housing Type 'A-2'C	Lot 44 10	2.5 2.71	15.87 du/ac	29 43
Phase 5 Subtotal		2.5 2.71	-	29 43

* Prior to occupancy of Phase 5, the minimum 50,000 s.f. retail center will be developed.

Phase 6: Fall 1998 Fall 2001

Land Use	Lot #	Area	Density	Units
Housing Type 'C'	Lot 24 12	3.1 2.86	17.83 du/ac	56 49
Housing Type 'D' A-1	Lot 20 18	3.1 3.02	23.9 27 du/ac	74 28
Roads	-	0.9 0.77	-	-
Park	Lot 45C 23	0.5 0.49	-	-
Retail	Lot 23A, 23B 33	5.4 4.71	-	-
Easement	Lot 35	0.86	-	-
Industrial	Lot 24A	8.5	-	-
Phase 6 Subtotal		21.5 12.71	-	127 77

Phase 7: Winter 1998/1999 Summer 2000

Land Use	Lot #	Area	Density	Units
Housing Type C/A-1	Lot 43 19	2.7 3.10	8.39 du/ac	49 26
Housing Type C	Lot 44 13	2.4 2.33	19.31 du/ac	43 45
Park	Lot 21A 26	0.4 0.39	-	-
Phase 7 Subtotal		5.5 5.82	-	92 71

Phase 8: Spring 2000 Spring 1999

Land Use	Lot #	Area	Density	Units
Industrial	Lot 24B 34	5.6 19.37	-	-
Phase 8 Subtotal		5.6 19.37	-	-

Phase 9: Fall 2001

Land Use	Lot #	Area	Density	Units
Industrial	Lot 24C	5.6	-	-
Phase 9 Subtotal		5.6	-	-

Total Parcels 1 and 2	99.4		893
DHV-Residential & DHV-Commercial/Industrial	100.23		650

g. Open Space and Recreation Plan.

1) Open Space and Recreation Plan Description.

A major unifying element of Dominguez Hills Village is the Open Space and Recreation Program. This Program provides recreational opportunities in which all residents of Dominguez Hills Village can participate. Dominguez Hills Village features differing sized parks and recreational opportunities for various active and passive activities. Approximately 3.3 3.19 acres of open space areas are provided on Parcel 4 DHV Residential. This does not take into account the open space and recreational facilities required by the home builders on the individual lots.

The roadway landscaping proposed in the *Design Guidelines*, with the attendant parkways, sidewalks and landscaped easements, will provide to the community project continuity for the Project from the perimeter along the perimeter of Victoria Street and Central Avenue, the landscaping in the fifteen-foot 15'-0" setback, and, for the benefit of the residents and guests, the internal Pproject landscaping for the benefit of the residents and guests. See the *Landscape Design Guidelines, Section VI.2.*

2) Open Space and Recreation Plan Development Standards.

- a) The parks and recreational facilities provided for by the applicant will be for the benefit of all residents and guests within Dominguez Hills Village.
- b) The landscaping provided at the perimeter of the Pproject will enhance the immediate neighborhood and the City as a whole. See the *Landscape Design Guidelines*.
- c) The parks shall contain the following facilities/equipment: A an approximately 2,000 4,000 square foot s.f. Residents' Mmulti-purpose Bbuilding, tot lots, open play areas, picnic facilities, open space, tennis courts, and basketball courts. A Conceptual Site Plan of these areas is provided in Section VI-2, *Landscape Design Guidelines*. See *Figures VI-13 through VI-19*.
- d) Lot 42 11 will be provided for a Cchild Ccare Ccenter. The facility will have playgrounds and open areas. Of the available open space, the operator will determine what portion will be dedicated for children's use, and what will be provided for residents' use.
- e) All recreational facilities will be landscaped and, where necessary, irrigated in a manner that is conducive to the type of plant material and landscape setting.
- f) Landscaping within recreation and open space areas will be further governed by the development standards in the Landscaping Plan (Section V.1.h.) and the *Landscape Design Guidelines* (Section VI.2) of this Specific Plan.

- g) Development applications which incorporate provisions for common areas shall be accompanied by design plans for the common areas. Such plans shall specify the location and extent of landscaping, irrigation systems, and structures for such common areas.
- h) Parks on lots 10, 15A, 15B, 15C, 15D, 17A, 20, 21, 22, 23, 24, 25, and 26 are to be improved by the applicant and maintained by the Master Homeowners' Association.
- i) In addition to the provisions provided herein, with the buildout of the common area recreation facilities, all developments exceeding 160 dwelling units per acre shall provide a minimum of 140 s.f. square feet per dwelling unit of project common open space, incorporating amenities per the following standards:
 - i. For fifty (50) or fewer units, at least one of the following shall be provided:
Spa; Gazebo; Outdoor Cooking/Eating Area; and Tables, Chairs and Benches for Reading and Conversation Areas.
 - ii. For more than fifty (50), but less than one hundred (100) units, one item from I., above, and at least one of the following:
Pool; Shuffleboard; Exercise Room.
 - iii. For one hundred (100) or more units, at least one item from i., above, per fifty for each (50) units; one item from ii., above, per one hundred for each (100) units; plus at least one of the following:
Community Room (minimum five (5) square feet per dwelling unit).
- j) The retail and industrial components will conform to City of Carson standards relating to open space.

h. Landscaping Plan.

1) Landscaping Plan Descriptions.

As illustrated in *Figure V-18, Illustrative Recreation and Open Space Key Plan*, Project landscaping will play an important role in maintaining Project design themes, while emphasizing community continuity and character. This Section of the Specific Plan provides a general description of, and development standards for, the Landscaping Concept. Detailed landscaping information is provided in Section VI.2, *Landscape Design Guidelines*.

ILLUSTRATIVE RECREATION AND OPEN SPACE KEY PLAN



DOMINGUEZ HILLS VILLAGE SPECIFIC PLAN

PREPARED FOR THE ESTATE OF ALBERT LEVINSON

CLARK & GREEN
Associates
Landscape Architecture



JOHANNES VAN TILBURG & PARTNERS

Figure V-18

Entry monumentation will provide initial Project identification, and will be visible upon approaching the site. Within the site, entry monumentation will be present at key intersections. Monumentation will be developed in a hierarchical format from the major entry to secondary entries, which provide identification for the community as a whole, and for each Planning Area.

Landscaping within the Project will articulate community design elements at the commercial center and the Child Care Facility. Housing types will be distinguished by varied planting themes. Landscaping will be used to identify the street system hierarchy; from major roads to collector roads, thus creating designed landscaped corridors. This shall be accomplished by careful consideration of the relationship between the street and plant materials' characteristics, including size, form, texture and color. Roadway landscape treatments will be designed to enhance the natural and developed environment.

2) Landscaping Plan Development Standards.

- a) All detailed landscaping programs for Planning Areas and roadways will be prepared by qualified landscape architects for review by City staff.
- b) Project entry statements have been designed with landscaping and architectural treatments that project a high quality image for this mixed use development.
- c) The landscaping design for the site will include trees, shrubs, and compactable ground cover.
- d) Special treatment areas will be designed to provide definition to certain Planning Areas, as identified in Section VI.2, *Landscape Design Guidelines*.
- e) Entrances into Dominguez Hills Village will have planted medians and landscaped perimeter setbacks and easements to define the Project's design concept. The introductory landscape theme will include elements such as tree clustering to reinforce the Project theme and character.
- f) Planted raised medians may be established within any roadway right-of-way, as long as access and safety criteria approved by the City of Carson Engineer can be met.
- g) Prior to issuance of Building Permits in any subdivision, Improvement Plans for the respective landscaped areas shall be submitted to the City Planning Department for approval. The Improvement Plans shall include, but not be limited to, the following:
 - i. Final Grading and Civil Engineering Plan.
 - ii. Landscape and Irrigation Plans certified by a Landscape Architect.
 - iii. A Landscaping Plan with seed mixes for mulching and staking methods; ~~and as well as~~ locations, type, size and quantity of plantings, certified by a Landscape Architect.

- iv. A Hardscaping Plan with location and quantity of potential recreational amenities/facilities (for the extension of roads, etc. in the common areas).
- v. Wall/Fence Treatment Plans.
- vi. Special treatment buffer area, and Easement Treatment Plans.
- h) The applicant and/or Developer shall be responsible for maintenance and upkeep of all slope planting, common landscaped areas and irrigation systems, until such time as these operations are the responsibility of a Master Homeowners' Association, or individual project Homeowners' Organization, as the case may be.
- i) Development applications which incorporate developed open space areas shall be accompanied by Design Plans for the common area. Such plans shall specify the location and extent of landscaping irrigation systems, structures, and circulation (vehicular and pedestrian).
- j) At the time of recordation of any tentative subdivision which contains an easement, a Dominguez Hills Village common greenbelt or open space areas, the subdivision shall have those common areas conveyed to a Master Homeowners' Association, or other entity.
- k) The Landscaping Plan shall reflect the following water conservation methods, whenever possible: landscape with low water-use plants; group plants of similar water-use to reduce over-irrigation of low water-use plants; use mulch extensively, as mulch improves the water holding capacity of the soil by reducing evaporation and maximizing the water reaching the plant roots. Drip irrigation, soil moisture sensors, and automatic irrigation systems may be used as appropriate to increase irrigation efficiency.
- l) The common open space irrigation system shall be designed to accommodate the future use of reclaimed water when made reasonably available by the Water District.
- m) Prior to submitting the Landscaping Plan to the City for Site Plan Review, the Developer shall approve the proposed Landscape Plan, including the edge treatment of the retail and industrial components.
- n) The applicant shall utilize special landscape treatments to minimize the amount of yard trimmings and waste from the proposed project area, to the satisfaction of the City Community Development Department as part of the Site Plan review and approval.

i. Comprehensive Maintenance Plan.

The Master Homeowners' Association will maintain the common area landscaping and facilities. Successful operation of this maintenance is important in assuring high landscape quality in the Project area.

- 1) A permanent Master Homeowners' Association shall be established for the Specific Plan area to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems, and landscaped areas on ~~Parcel 4 DHV Residential~~. Acceptance of ownership by a Master Homeowners' Association shall satisfy this condition.
- 2) ~~Parcel 2 DHV Commercial/Industrial~~ maintenance shall be assumed by Brea Cañon Oil Company, for the Tank Farm, and the Developers of the retail and industrial parcels, unless otherwise approved by City agencies.
- 3) Commons Areas: Unless otherwise provided for in these standards, common areas shall be conveyed to a Master Homeowners' Association, or other entity, as implementing development is approved, or as subdivisions are recorded.
- 4) Open Space and Parks: All open space and park areas that are not directly associated with a particular lot will be the responsibility of the Master Homeowners' Association.
- 5) On-Site Streets, Sewers, and Storm Drains: These facilities may be maintained by the Homeowners' Association's own employees, or by (an) independent contractor(s) as evaluated by the Homeowners' Association and approved by the City Planning Department.
- 6) All buildings, grounds, parking areas, and landscaping shall be maintained in a neat and orderly manner at all times.

j. Sheriff Services' Funding Plan.

The funding mechanism and phased implementation for the Sheriff's Services shall be subject to review and approval by the City Council.

2. Planning Area Standards.

a. General.

Development standards and zoning regulations for Dominguez Hills Village have been established at three levels: *General Development Provisions* (Section III.1); *Planning Area Standards*, (Section V.2); and *Design Guidelines* (Section VI.2 and 3).

Planning Areas were selected on the basis of logical lot divisions in the development of Dominguez Hills Village. Criteria considered in this process include uniformity of use as it pertains to zoning, bioremediation of the site, and relationship to adjoining housing types and the surrounding neighborhood.

The Planning Area graphics for this section (*Figures V-19 through V-41*) were derived from the *Land Use Plan* (*Figure V-1*). The Site Plans depicted are conceptual in nature. Although development may conform closely to some elements of the plans provided in the *Illustrative Site Plan*, *Figure V-2*, it is anticipated that actual lotting dwelling unit configuration (i.e., single family detached, duplex, etc.), will not be determined until the tract map stage.

A Specific Plan Zoning Ordinance is being prepared for this Specific Plan document, for adoption by the City Council. The zoning provisions within that Ordinance will establish use restrictions for each Planning Area. The zoning provisions shall be used in conjunction with the Planning Area Standards for each Planning Area.

- Terms used in these regulations shall have the same definitions as provided given in the City of Carson Zoning Ordinance, unless otherwise defined herein.
- Any details or issues not specifically covered in these regulations shall be subject to the regulations of the Carson Zoning Ordinance, as applicable.
- These regulations are adopted pursuant to Section 65450 of the California Government Code. It is specifically intended by such adoption that the development standards herein shall regulate development within the Specific Plan area. Where sufficient direction for interpretation of these regulations is not explicit, the Carson Zoning Ordinance shall take precedence.
- Construction shall comply with applicable provisions of the Uniform Building Code, as amended, and the various other mechanical, electrical and plumbing codes related thereto.
- Grading Plans submitted for all projects in the Specific Plan area shall be based on the City Grading Code, and shall be accompanied by Geological and Soils Engineers' reports incorporating all pertinent recommendations. The Soils Engineer and Engineering Geologist must certify the suitability of a graded site prior to issuance of a Building Permit.
- State density bonuses granted for inclusion of affordable housing shall apply to all residential Planning Areas of Dominguez Hills Village. The additional

density granted shall be in addition to the maximum dwelling units provided for herein.

- All Landscape and/or Grading Plans shall include provisions for temporary erosion and fugitive dust control on all graded sites which are scheduled to remain unimproved during the winter months, and fugitive dust control year round.
- If any portion of these regulations is, for any reason, declared by a Court of competent jurisdiction to be invalid or ineffective, in whole or in part, such decision shall not affect the validity of the remaining portions thereof. The City Council hereby declares that they would have enacted these regulations and each portion thereof, irrespective of the fact that any one or more portions be declared invalid or ineffective.
- Where the term "Lot Coverage" is used, it shall be defined as the percentage of lot area covered by all buildings or roofed structures within each Planning Area. This includes all accessory buildings or structures, balconies, covered patios, covered entryways, and any similar structures that reduce the amount of lot area open to the sky.

For the purpose of this definition, lot coverage shall be measured: a) to the foundation line for buildings, patio covers, and similar structures; and 2) to the edge of the structure, balconies, and similar structures.

b. Residential Yard Setbacks (reference also Section VI.3, *Architectural Design Guidelines*, and *Figures VI-24 through VI-27* for Typical Recommended Housing Configurations Site Plan Layouts).

1) Single family detached, up to 10.0 d.u. per ac. dwelling units per acre.

Housing Type A-1:

- a) Front yard: 18'-0" to garage doors, 15'-0" to remainder of residence with a 3 foot encroachment allowed for porches with no decks or living space above, as measured from property line.
- b) Side yard: 4'-0" for single story dwelling; 5'-0" for two and three story.
- c) Rear yard: 12'-0" or 15% of the average lot depth, whichever is greater.

Housing Type A-2:

- a) Front yard: 18'-0" to garage doors, 15'-0" to remainder of residence.
- b) Side yard: 4'-0" for single story dwelling; 5'-0" for two and three story.
- e) Rear yard: 12'-0" or 15% of the average to depth, whichever is greater.

Housing Type B:

- a) Front yard: 10'-0" to residence, as measured from property lines.
 - b) Side yard: 4'-0" for single story dwelling; 5'-0" for two and three story.
 - c) Rear yard: 5'-0" to garage doors.
- 2) Single family detached, duplexes or multifamily, above 10.0 d.u. per acre dwelling units per acre.

Housing Type C:

- a) Front yard:
 - i. Buildings facing streets: 5'-0" 6'-0" for one and two story buildings.
 - ii. Buildings facing motorcourts: 5'-0" to curb face for one and two story dwellings; 6'-0" for three story.
- b) Side yard: 4'-0" for one and two story dwellings; 5'-0" for three story. (For duplex location side yard provisions, refer to the non-common wall. At the common wall, one half inch is the minimum wall separation. Common footing and roof is permitted.)
- c) Rear yard: 8'-0" minimum at closest point; 10'-0" average.

Minimum for one and two story dwellings: 10'-0" minimum at closest point; 12'-0" average minimum for three story buildings.

- 3) The above provisions may be waved in connection with approval of a tract or parcel map to permit reasonable deviations to allow the densities permitted herein.
- 4) Where a property abuts an easement which may be landscaped as a part of a rear or side yard, the setback requirements shall be measured from the edge of the easement.
- 5) Setbacks provided in the Specific Plan are considered to be minimum standards. Site Design Review approval may require increased setbacks.
- 6) Prior to issuance of any building permits, Site Plan and Design approval shall be obtained from the Planning Commission pursuant to Section 9172.23 of the Zoning Ordinance.
- 7) Signs:
 - a. A sign program shall be submitted to the Community Development Department as part of the application for Design Approval. The program shall be approved by the Planning Commission prior to the issuance of a building permit(s). The sign program shall detail all

signs to be erected including location, size, type, materials, etc. All signs shall be subject to the approval of the Community Development Department.

- b. Business signs and sign structures shall be permitted in conformance with development plans which have been approved pursuant to the Site Plan and Design Review procedures (including the number of signs and sign structures to be permitted) as provided in Section 9172.23.
- 8) For Condominium Conditions of Approval refer to pages VIII-14 through VIII-16.
- 9) Due to the potential for ground shaking in a seismic event, the applicant shall comply with the standards set forth in the Uniform Building Code (UBC) (most recent edition) to assure seismic safety to the satisfaction of the District Engineer, Building and Safety Division.
- 10) A structural engineer, civil engineer or architect, experienced with earthquake-resistant design, shall sign off on all building plans to determine the adequacy of seismic criteria for project structures, and to recommend appropriate design changes, if needed prior to issuance of building permits.
- 11) Prior to issuance of building permits, the Community Development Department, Building and Safety Division, shall review and approve all building plans to assure compliance with the latest Los Angeles County Building Code as adopted by the City of Carson.
- 12) Precise plans for the proposed project shall demonstrate that the site plan has incorporated appropriate design standards such as buffers (i.e. streets and landscaping), setbacks between proposed oil producing uses, and orientation/design of petroleum-related facilities and residential, retail and industrial facilities. This shall reflect requirements of the City's proposed Oil Well Ordinance for oil wells operating in residential areas. The State Division of Oil and Gas DOG recommends an eight-foot 8'-0" high block wall or fence to restrict access to oil wells, in addition to use of landscaping that is not attractive to climbing.
- 13) As part of the CC&R's, the applicant shall provide public notice to all potential residents and tenants within 500-feet 500'-0" of petroleum-related uses prior to completion of any real estate transaction (said uses include oil wells, oil tanks, gas plant and petroleum lines). A draft of said notice shall be submitted to the City Attorney for review and approval prior to issuance of building permits.
- 14) Project construction activities shall, to the extent feasible, be concentrated away from adjacent residential areas. Equipment storage and soil stockpiling shall be at least 400-feet 100'-0" from adjacent residential property lines.
- 15) During construction, a security fence, the height of which shall be determined by the City of Carson Community Development Department,

Building and Safety Division, shall be maintained around the perimeter of the site. The construction site shall be kept clear of all trash, weeds, etc.

- 16) City staff shall review and approve the project's landscape plans, prior to building permit issuance. Landscaping plans shall comply with the City of Carson's Development Standards.
- 17) Adequate external lighting (to be determined by the Division of Building and Safety) shall be provided for security purposes. The lighting shall be stationary, directed away from adjacent properties and public rights-of-way, and of an intensity compatible with the neighborhood.
- 18) In order to reduce emissions from the power plant providing electricity to the site and from natural gas consumed by the project's users, on-site buildings shall, at a minimum, be constructed to comply with State Energy Efficiency Standards (Title 24).
- 19) Prior to issuance of building permits, the applicant shall submit a detailed acoustical study demonstrating that all project structures will meet applicable City interior noise levels and exterior living area noise levels, in accordance with applicable noise standards and zoning regulations. The study shall be prepared by a City-approved acoustical expert, to the satisfaction of the Community Development Director. The study shall document projected ultimate noise exposure for interior office, retail and industrial space, and shall demonstrate that the project design plans have incorporated adequate sound attenuation measures to achieve the applicable noise standards. Sound attenuation is primarily required for residential units adjacent to Victoria Avenue ~~Street~~ and Central Avenue.
- 20) Prior to issuance of building permits, site plans shall undergo review by the Los Angeles County Sheriff's Department to ensure that all entryway, lobbies, stairways, and parking areas shall be illuminated, and visually isolated areas shall be minimized for purposes of public safety and the enhancement of site security.
- 21) The City of Carson Station Crime Prevention Unit shall be contacted by project proponents prior to issuance of Certificates of Occupancy, for assistance on applicable crime prevention programs suitable for inclusion in the project, such as Neighborhood Watch.
- 22) Prior to issuance of building permits, the project proponent shall comply with all applicable code and ordinance requirements as required by the City of Carson Community Development Department for construction, access, water mains, fire flows, and fire hydrants.
- 23) Prior to issuance of building permits, the City of Carson Community Development Department shall require the project proponent to comply with the following measures:
 - a) ~~Fire flow allowance of up to 5,000 gallons per minute at 20 pounds per square inch residual pressure for a five-hour duration for multi-~~

- family residential, commercial or industrial uses, and 1,250 gallons per minute at 20 psi for a two-hour duration for single-family uses;
- b) Fire flows based on building size, its relationship to other structures and property lines, and type of construction.
 - c) Hydrant spacing every 600 feet for residential areas and 300 feet for commercial/industrial areas.

a-i - DHV-Residential: Fire flow allowances up to 3,000 gallons per minute at 20 pounds per square inch residual pressure for a two-hour duration for multi-family residential uses.

a-ii - DHV-Commercial/Industrial: Fire flow allowances for commercial and industrial uses are to be determined with the water purveyor to DHV-Commercial/Industrial. Appropriate limits and regulations shall apply to building size, configuration and location, and to hydrant requirements as stipulated by the UBC and the County of Los Angeles Fire Departments Fire Prevention Regulations."

"b-i - DHV-Residential: Multi-family residential lots, per the UBC Chapter 9, all buildings containing 16 or more units shall be provided with an automatic sprinkler system.

Per Los Angeles County Fire Department - Fire Prevention Standards Volume 7, Chapter 1-Regulation #8, dated 8/15/91, or updated edition titled, *Fire Flow and Hydrant Requirements*, wherein multi-family residential:

- **Two-story - non-sprinklered (type V) buildings with adjacent buildings within 50'-0"** are limited to 9,999 square feet of first floor area; sprinklered buildings with adjacent buildings within 50'-0" are limited to 12,499 square feet of first floor area.
- **One-story - non-sprinklered (type V) buildings with adjacent buildings within 50'-0"**

are limited to 14,999 square feet of first floor area; sprinklered buildings with adjacent buildings within 50'-0" are limited to 18,749 square feet.

Note: The above information is current as of the date of this writing and subject to change. Information is to be verified for current accuracy with the County of Los Angeles Fire Department prior to seeking Planning Department Approval for any multiple residential building development within the Specific Plan area.

- 24) The project proponent will be assessed the current State Mandated School Fees, payable to the appropriate school district prior to the issuance of building permits.
- 25) Project proponent shall dedicate an "in lieu" portion of the proposed site for park use or pay the appropriate Park Dedication Fees to the City of Carson Recreation and Community Services Department, prior to building permit issuance.
- 26) Prior to approval of tentative subdivision map(s), the project proponent shall incorporate the requirements of local water purveyors to provide new facilities in the form of pipelines, hydrants, booster station upgrade, and other services deemed necessary.
- 27) Prior to the issuance of building permits, the developer shall demonstrate use of low water use fixtures, plumbing fixtures and appliances, to the satisfaction of the City Building Inspector, as follows:

Interior:

- a) Supply line pressure: Reduce water pressure greater than 50 pounds per square inch (psi) to 50 psi or less by means of a pressure-reducing valve.
- b) Drinking fountains: Equip drinking fountains with self-closing valves.
- c) Ultra-low flush toilets: Install 1.6 gallon per flush toilets in all new construction.

Exterior:

- a) Landscape with low water-consuming plants wherever feasible.
- b) Minimize use of lawn by limiting it to lawn-dependent uses.
- c) Group plants of similar water use to reduce over irrigation of low-water-using plants.

- d) Preserve and protect existing trees and shrubs. Established plants are often adapted to low-water-using conditions and their use saves water needed to establish replacement vegetation.
 - e) Install efficient irrigation systems which minimize runoff and evaporation and maximize the water which will reach the plant roots. Drip irrigation, soil moisture sensors, and automatic irrigation systems are a few methods to consider in increasing irrigation efficiency and may be feasible for the project.
 - f) Use pervious paving material whenever feasible to reduce surface water runoff.
 - g) Investigate the feasibility of utilizing reclaimed waste water, stored rain water, or gray water for irrigation.
- 28) The project applicant shall pay applicable connection fees prior to issuance of a connection permit.
- 29) Prior to issuance of eOccupancy pPermits, the project applicant shall provide the City and County with evidence of compliance with guidelines set forth by the State of California in accordance with the California Integrated Waste Management Act of 1989 (AB 939) which requires jurisdictions to divert 25 percent of solid waste from landfills by the year 1995 and 50 percent by the year 2000. This shall include consideration for relocating mature trees, and offering marketable materials to recycle such as concrete, asphalt and steel.
- Prior to the issuance of any building permits, a site plan delineating the capacity, number, and location of all proposed solid waste and recyclable collection areas shall be submitted to the Los Angeles County Department of Public Works for review and acceptance and shall be approved by the City of Carson. Further, each location shall be verified by the City of Carson Community Development Department, prior to the issuance of any eCertificates of uUse and eOccupancy.
- 30) The proposed project shall follow the current practice of the City of Carson for curbside collection and recycling programs in the residential areas of the City, including mixed waste processing and recovery in both residential and commercial areas.
- 31) If any hazardous substances not previously addressed in the mitigation measures contained herein are identified and/or released to the environment at any point during the site cleanup process, operations shall cease immediately. At the earliest possible time, the project applicant in that area shall notify the City Community Development Director of any such findings.
- 32) The proposed oil well ordinance, if adopted by the City of Carson, shall provide for safety and land use compatibility requirements for existing oil wells to remain operational past year 2002 within a residential or commercial area.
- 33) Prior to issuing grading or building permits for any portion of DHV-Commercial/Industrial, the applicant shall submit a site plan for the entire parcel, demonstrating adequate design, buffers and setbacks between the tank farm, gas plant and oil wells, relative to adjacent off-site existing

industrial uses and future on-site retail and industrial uses, to the satisfaction of the Planning Director.

c. Planning Area Lot 1: Housing Type B C.

1) Descriptive Summary:

a) Planning Area Lot 1, as depicted in *Figure V-19*, provides for the development of ~~4.9~~ 1.97 acres devoted to residential use in a townhouse configuration at a density of ~~17.26~~ dwelling units per acre for a total of 34 units. ~~There will be a density of sixteen (16) dwelling units per acre, for a total unit count of thirty one (31)~~

b) Building height: ~~Three stories; 36 feet.~~ Two stories; 30 feet.

c) Parking: Two covered spaces, with one-half guest parking stall per unit. The guest parking stalls shall be ~~parallel-curb-parking~~ within or directly adjacent to the Planning Area.

d) Maximum lot coverage: Sixty percent (60%).

2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.

3) Planning Standards:

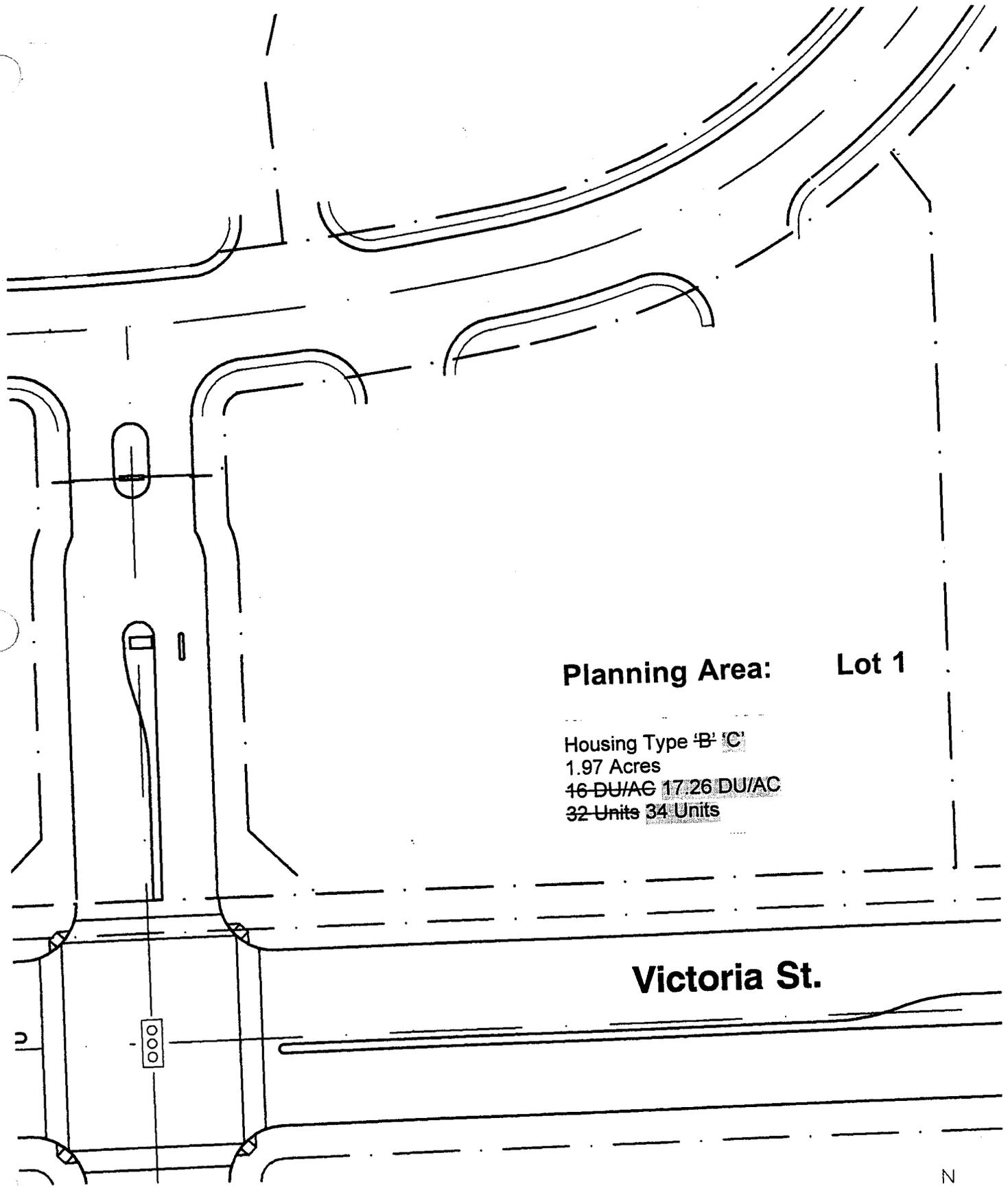
a) A minimum of two access points (see *Figures VI-7, and VI-8, and V-19*) to Lot 1 will be provided from the primary loop road South Oakhill Circle.

The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.

b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the ~~property line, or the adjacent edge of the sidewalk, if applicable~~ face of curb.

c) A roadway landscape treatment, as shown on *Figures VI-2 and VI-3*, is planned along the entry drive and the property line adjacent to Victoria Street.

d) Please refer to Section VI for specific *Design Guidelines* and other related design criteria.



Planning Area: Lot 1

Housing Type 'B' 'C'
1.97 Acres
16 DU/AG 17.26 DU/AC
32 Units 34 Units

Victoria St.

0 10 30 60



- e) See Section V.1.e, *Grading Plan*, and *Figure V-16* for relative pad elevations ~~Conceptual Retaining Wall Plan~~.
- f) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
- g) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;
 - Grading Plan;
 - Phasing Plan;
 - Open Space and Recreation Plan;
 - Landscaping Plan;
 - Comprehensive Maintenance Plan.

d. Planning Area Lot 2: Housing Type C

1) Descriptive Summary:

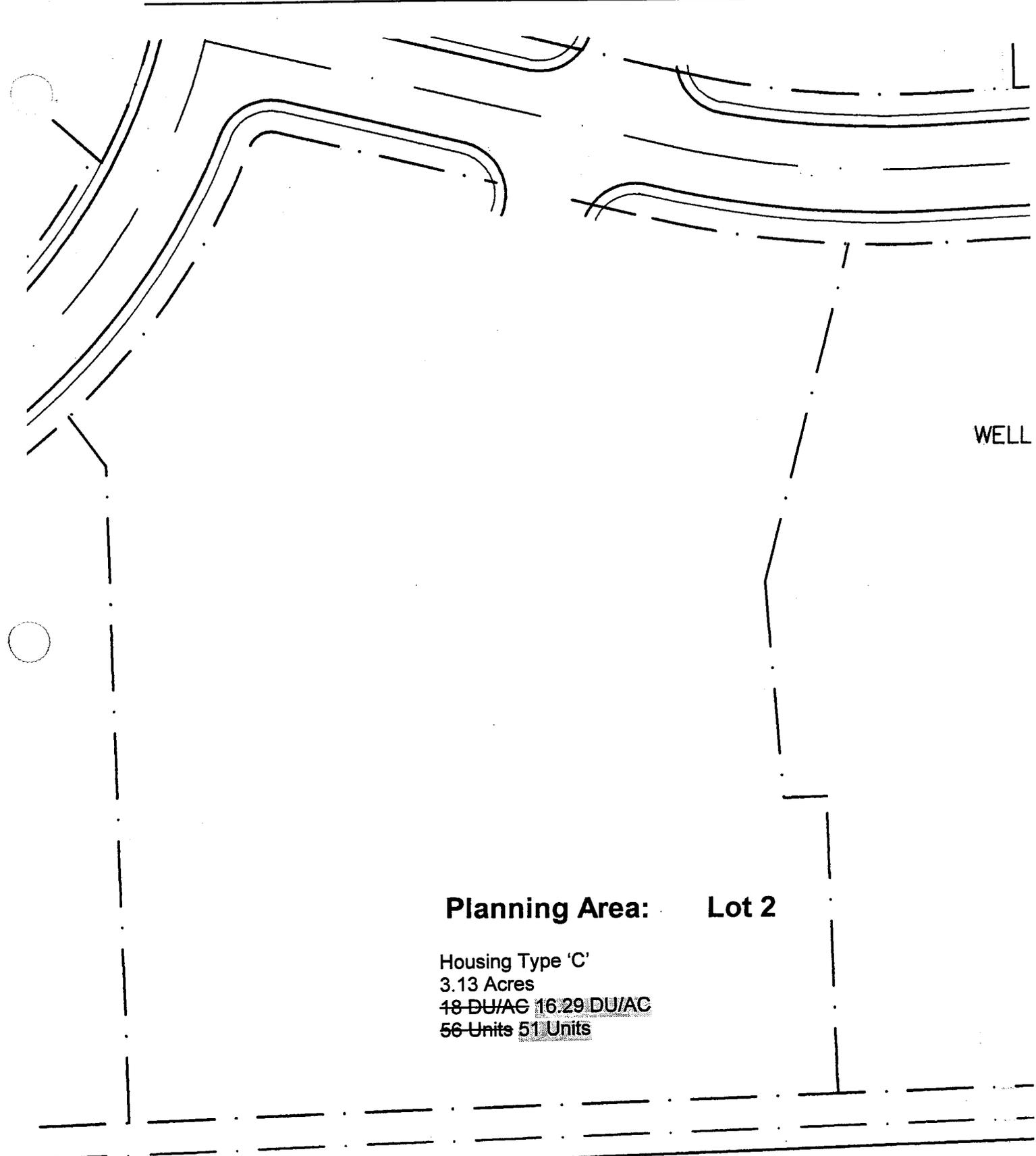
- a) Planning Area Lot 2, as depicted in *Figure V-20*, provides for the development of ~~3.4~~ 3.13 acres devoted to residential use in a townhouse configuration at a density of ~~16.29 dwelling units per acre~~ for a total of 51 units at a density of 18.0 dwelling units per acre; 56 units are allowed.
- b) Building height: ~~Three (3) stories; 36 feet.~~ Two stories, 30 feet
- c) Parking: Two (2) covered spaces, with one-half guest parking space per unit. The guest parking stalls are to be parallel curb parking shall be within, or directly adjacent to, the Planning Area.
- d) Maximum lot coverage: Sixty percent (60%).

2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.

3) Planning Standards:

- a) Primary access points to Lot 2 will be provided from the ~~Entry Road at the easterly edge of Parcel 1 off of Central Avenue Aspen Hill Road~~; a secondary shared Pproject entry is planned from the adjacent Planning Area to be built as a part of Phase 1 at the Pproject's southern boundary (see *Figures VI-4, VI-7, and VI-8*).

The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances.

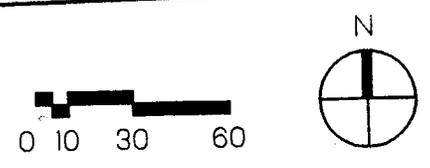


WELL

Planning Area: Lot 2

Housing Type 'C'
3.13 Acres
48 DU/AC 16.29 DU/AC
56 Units 51 Units

Victoria St.



The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.

- b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the ~~property line, or the adjacent edge of the sidewalk, if applicable.~~ face of curb.
- c) A roadway landscape treatment, as shown on *Figures VI-2 and VI-3*, is planned along the property line adjacent to Victoria Street.
- d) See Section V.1.e. *Grading Plan*, and *Figure V-16*; ~~for relative pad elevations~~ Conceptual Retaining Wall Plan.
- e) Please refer to Section VI for specific *Design Guidelines*, and other related design criteria.
- f) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
- g) Please refer to Section V.1 for the following Development Plans and Standards that apply through the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;
 - Grading Plan;
 - Phasing Plan;
 - Open Space and Recreation Plan;
 - Landscaping Plan;
 - Comprehensive Maintenance Plan.

e. Planning Area Lot 3: Housing Type C

1) Descriptive Summary:

- a) Planning Area Lot 3, as depicted in *Figure V-21*, provides for the development of ~~3.0~~ 2.91 acres devoted to residential use in a ~~townhouse configuration at a density of 15.12 dwelling units per acre for a total of 44 units in a townhouse configuration, with a density of 18.0 dwelling units per acre and 54 allowed units.~~ townhouse configuration at a density of 15.12 dwelling units per acre for a total of 44 units in a townhouse configuration, with a density of 18.0 dwelling units per acre and 54 allowed units.
- b) Building height: ~~Three stories; 36 feet.~~ Two stories; 30 feet.
- c) Parking: Two covered spaces, with one-half guest parking space per unit. The guest parking stalls ~~are to be parallel curb parking~~ shall be within, or directly adjacent to, the Planning Area.
- d) Maximum lot coverage: Sixty percent (60%).

2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.

3) Planning Standards:

a) Primary access points to Lot 3 (*Figures V-21 and VI-8*) will be provided from the ~~Entry Road~~ Aspen Hill Road, as shown in *Figure V-5*, at the ~~easterly edge of Parcel 1 off of Central Avenue~~. A secondary shared Project entry is planned from the adjacent Lot 2, to the west.

The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.

b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the ~~property line, or the adjacent edge of the sidewalk, if applicable.~~ *face of curb*.

~~c) Lot 3 contains injector well #42. See *Figures IV-7 and IV-8* for easement and oil well maintenance equipment requirements.~~

~~d) The Planning Commission Site Design Approval will include review for compliance with the C.U.P. and Ordinance relating to the continued oil production on the site.~~

e c) A land use edge condition will interface with the proposed residences in Lot 3 and the adjacent Lot 2.

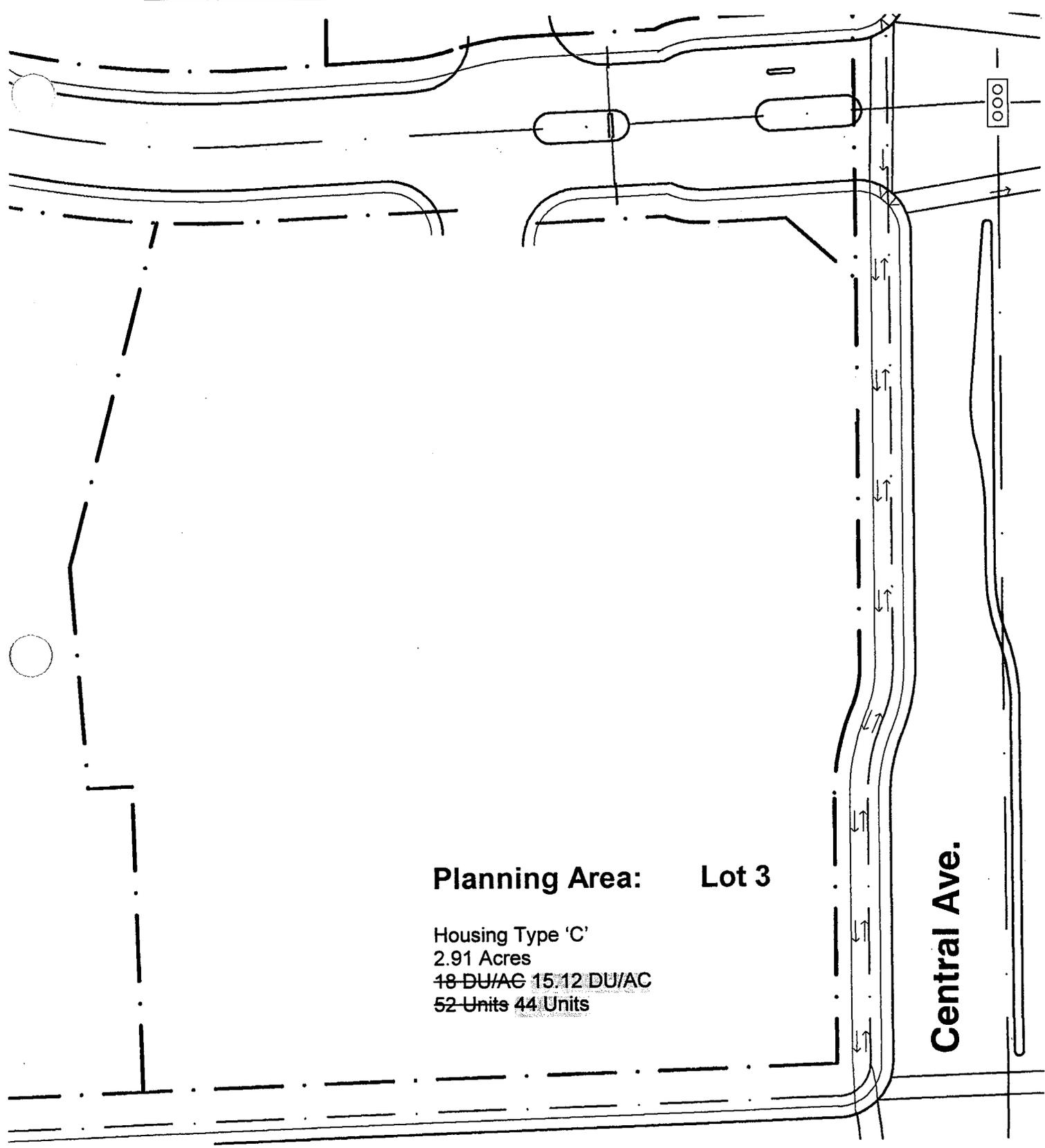
f d) See *Figures VI-2 and VI-3* for landscape treatment along Victoria Street, and *Figure VI-10* for landscape treatment along Central Avenue.

g e) Please refer to Section VI for specific *Design Guidelines*, and other related design criteria.

~~h) An access maintenance easement shall be recorded with size and paving material requirements for the servicing of injection well #42.~~

i f) See Section V.1.e, *Grading Plan*, and *Figure V-16* for relative pad elevations *Conceptual Retaining Wall Plan*.

j g) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.

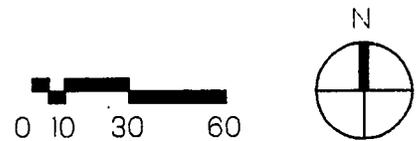


Planning Area: Lot 3

Housing Type 'C'
2.91 Acres
48 DU/AG 15.12 DU/AC
52 Units 44 Units

Central Ave.

Victoria St.



k h) Please refer to Section V.1 for the following Development Plans and Standards that apply through the site:

- Specific Land Use Plan;
- Circulation Plan;
- Drainage Plan;
- Water, Reclaimed Water and Sewer Plans;
- Grading Plan;
- Phasing Plan;
- Open Space and Recreation Plan;
- Landscaping Plan;
- Comprehensive Maintenance Plan.

f. Planning Area Lot 4: Housing Type B Ph.1-A2-B

1) Descriptive Summary:

- a) Planning Area Lot 4, as depicted in *Figure V-22*, provides for the development of ~~2.2~~ 2.18 acres devoted to residential use in a single family detached configuration at a density of 8.26 dwelling units per acre for a total of 18 units. ~~These dwellings will be in a duplex configuration, with density of 16.0 dwelling units per acre, and an allowable unit count of 35 with 34 dwellings anticipated for the site.~~
- b) Building height: ~~Three (3) stories; 36 feet.~~ Two stories; 30 feet.
- c) Parking: Two (2) covered spaces, with one-half guest parking space per unit. ~~The guest parking stalls are to be parallel curb parking shall be within, or directly adjacent to, the Planning Area.~~
- d) Maximum lot coverage: Sixty percent (60%).

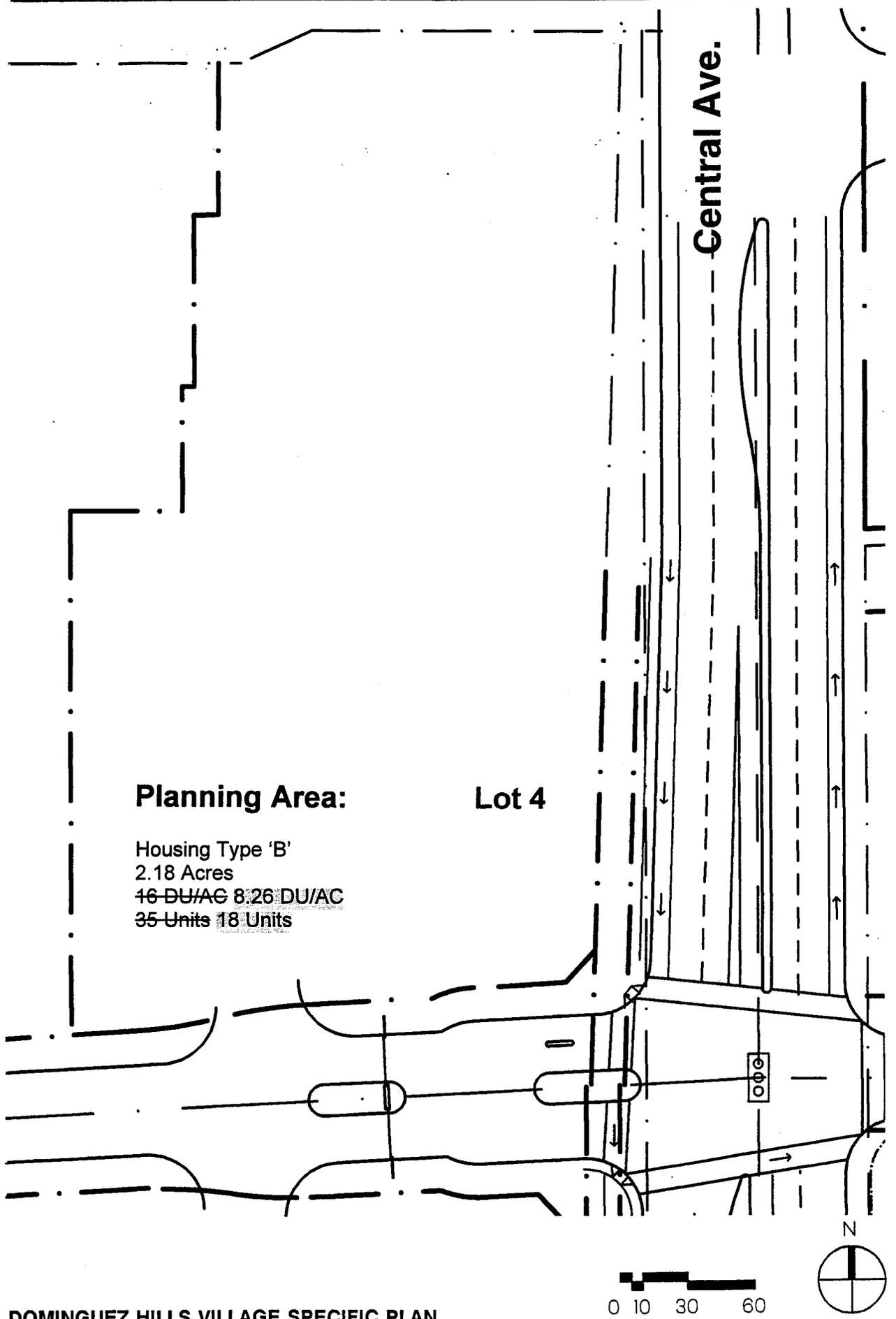
2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.

3) Planning Standards:

- a) Primary access points to Lot 4 (*Figure V-8 V-22*) will be provided off ~~the entry drive and the primary loop road via Aspen Hill Road~~ (as shown in *Figure V-4 V-5*), and through secondary streets from Lot 5 (which is also developed as part of Phase 1).

The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.

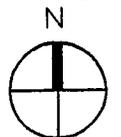
- b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line, or the adjacent edge of the sidewalk, if applicable.



Planning Area:

Lot 4

Housing Type 'B'
2.18 Acres
46 DU/AG 8.26 DU/AC
35 Units 18 Units



- c) Minor Dominguez Hills Village residents' entries are planned from inside Dominguez Hills Village to access the park (Lot 15D 24). See *Figure VI-17*.
- ~~d) Lot 24 also contains oil producing well #1B. Access should be provided through Lot 4 to Lot 24 for occasional maintenance. See *Figures IV-7 and IV-8* for easement and oil well maintenance equipment requirements.~~
- ~~e) The Planning Commission Site Design Approval will include review for compliance with the C.U.P. and Ordinance relating to the continued oil production on the site.~~
- f) A land use edge condition, as shown on *Figure VI-8*, will interface with the proposed residences in Lot 4 and the residents of Dominguez Hills Village.
- g) A roadway landscape treatment, as shown on *Figure VI-4* is planned along the secondary entry and main loop road *Aspen Hill Road and North Oakhill Circle*.
- h) See Section V.1.e, *Grading Plan*, and *Figure V-16* for relative pad elevations *Conceptual Retaining Wall Plan*.
- i) Please refer to Section VI for specific *Design Guidelines*, and other related design criteria.
- ~~j) Planning Area internal roadways may infringe upon the area designated as Lot 24, as indicated on the *Illustrative Site Plan, Figure V-2* and *Lot 24 Park Plan, Figure VI-17*.~~
- k) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
- l) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;
 - Grading Plan;
 - Phasing Plan;
 - Open Space and Recreation Plan;
 - Landscaping Plan;
 - Comprehensive Maintenance Plan.

g. Planning Area Lot 5: Housing Type A-2 Ph.1 A2 B

1) Descriptive Summary:

- a) Planning Area Lot 5, as depicted in *Figure V-23*, provides for the development of ~~3.4~~ 3.01 acres devoted to residential use in a single family detached configuration at a density of ~~9.30~~ dwelling units per acre for a total of 28 units. These dwellings will be in single family detached configuration, with a density of 12.0 dwelling units per acre, with an allowable unit count of 37, and with 36 units anticipated in the Planning Area.
- b) Building height: Two stories; 30 feet.
- c) Parking: Two covered spaces, with one-half guest parking space per unit. The guest parking stalls are to be parallel curb parking shall be within, or directly adjacent to, the Planning Area.
- d) Maximum lot coverage: ~~Fifty percent (50%)~~ Sixty percent (60%).

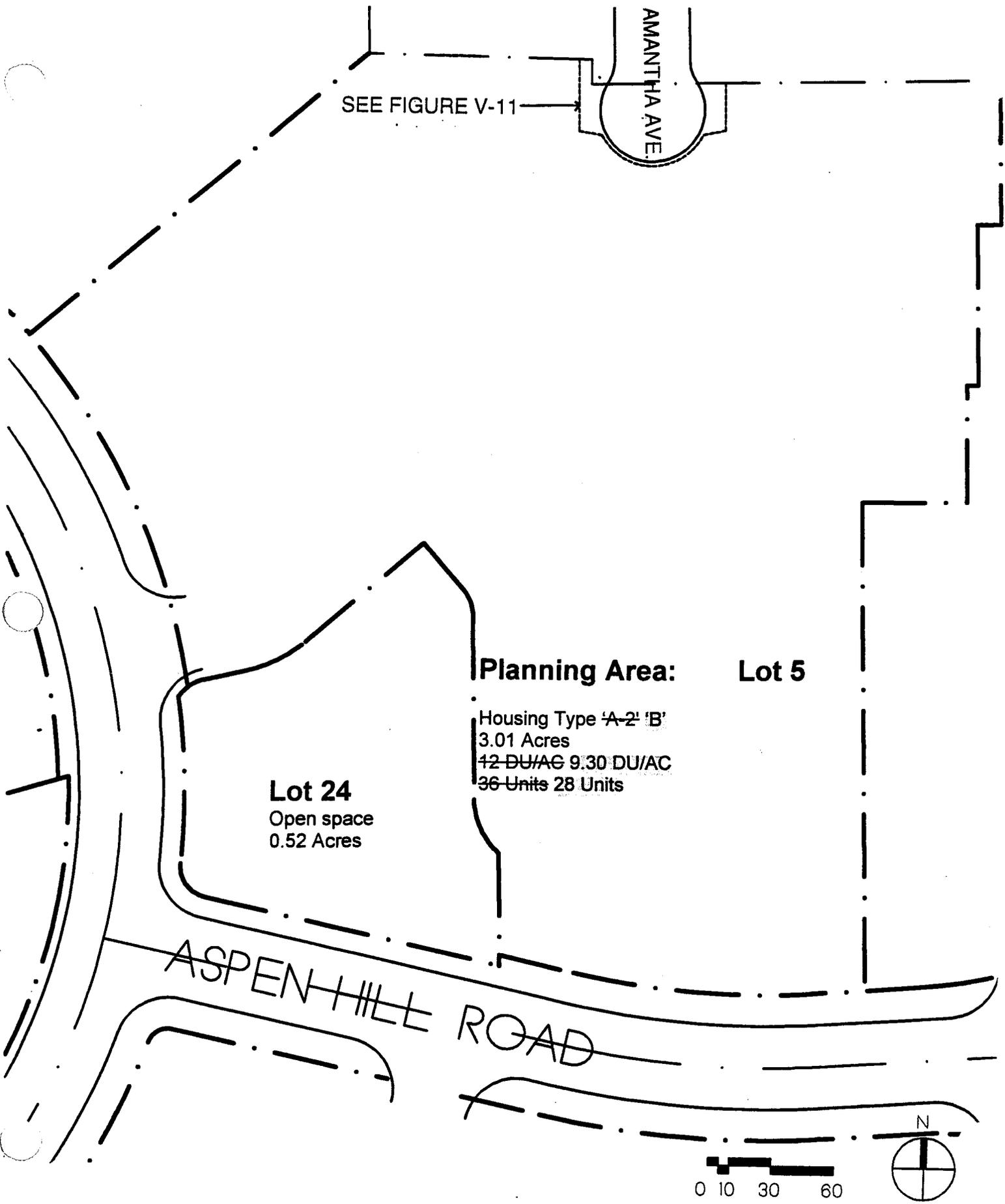
2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.

3) Planning Standards:

- a) Primary access points to Lot 5 will be provided from the entry drive, and from the main loop road Aspen Hill Road and North Oakhill Circle (see *Figures VI-5 and VI-6*).

The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.

- b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line, or the adjacent edge of the sidewalk, if applicable.
- c) A roadway landscape treatment, as shown on *Figure VI-6*, is planned along the access road and the main loop drive North Oakhill Circle.
- d) See *Figure V-11* for that portion of the site affected by the improvement of the cul-de-sac bulb at the terminus of Amantha Avenue.



- e) See Section V.1.e, *Grading Plan*, and *Figure V-16* for relative pad elevations *Conceptual Retaining Wall Plan*.
- f) Please refer to Section VI for specific *Design Guidelines*, and other related design criteria.
- g) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
- h) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;
 - Grading Plan;
 - Phasing Plan;
 - Open Space and Recreation Plan;
 - Landscaping Plan;
 - Comprehensive Maintenance Plan.

h. Planning Area Lot 6: *Housing Type A-1 B*

1) Descriptive Summary:

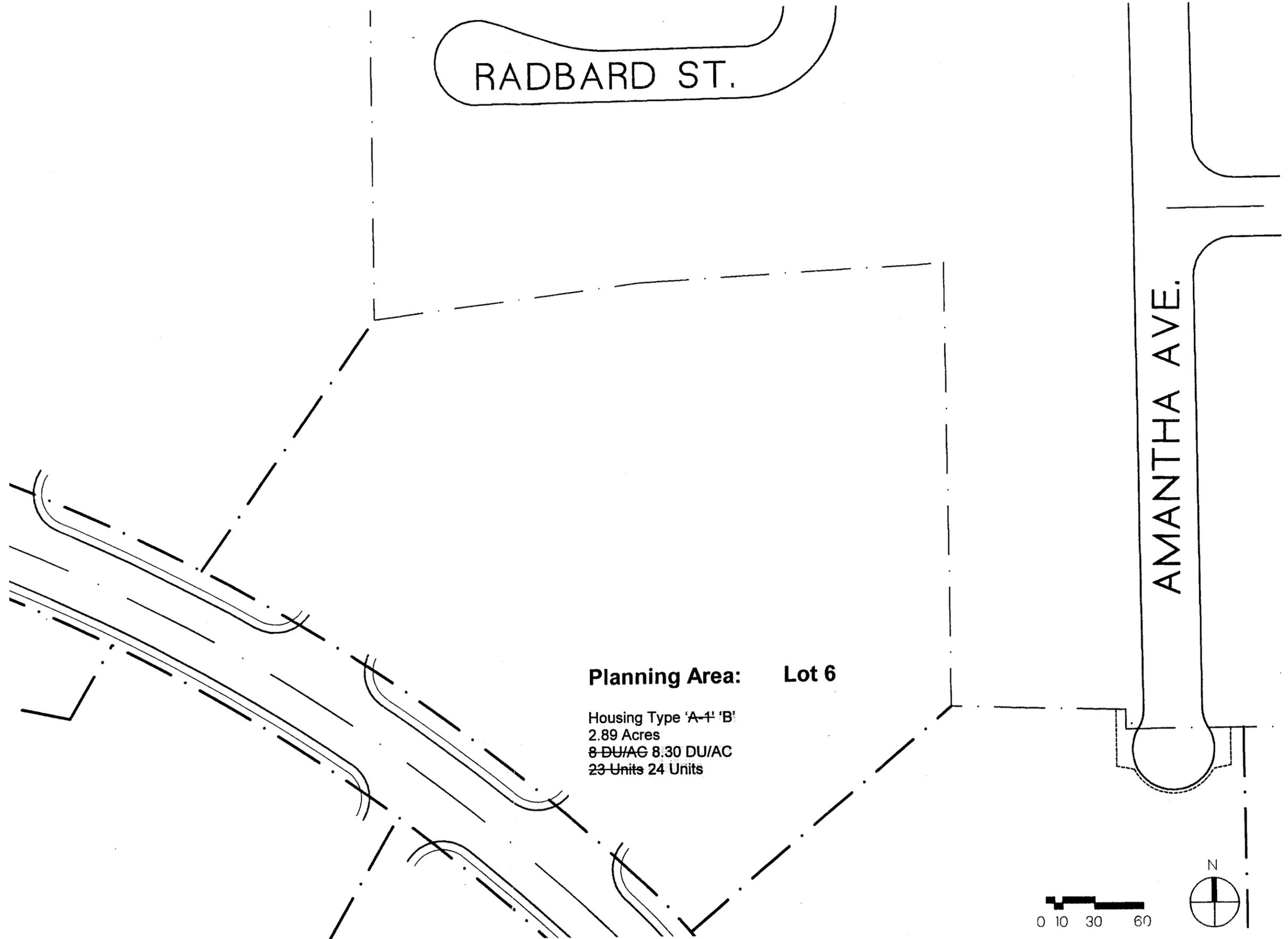
- a) Planning Area Lot 6, as depicted in *Figure V-24*, provides for the development of ~~2.8~~ 2.89 acres devoted to residential use in a single family detached configuration at a density of ~~8.30~~ 8.30 dwelling units per acre for a total of 24 units. ~~A maximum of twenty-two dwelling units are allowed, at a density of 8 dwelling units per acre.~~
- b) Building height: Two stories; 30 feet.
- c) Parking: Two covered spaces, with one-half guest parking space per unit. The guest parking stalls ~~are to be parallel curb parking~~ shall be within, or directly adjacent to, the Planning Area.
- d) Maximum lot coverage: ~~Fifty percent (50%)~~ Sixty percent (60%).

2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.

3) Planning Standards:

- a) Primary access points to Lot 6 will be provided from ~~the entry drive, and from the main loop road~~ North Oakhill Circle (see *Figures VI-5 and VI-6*).

The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances.



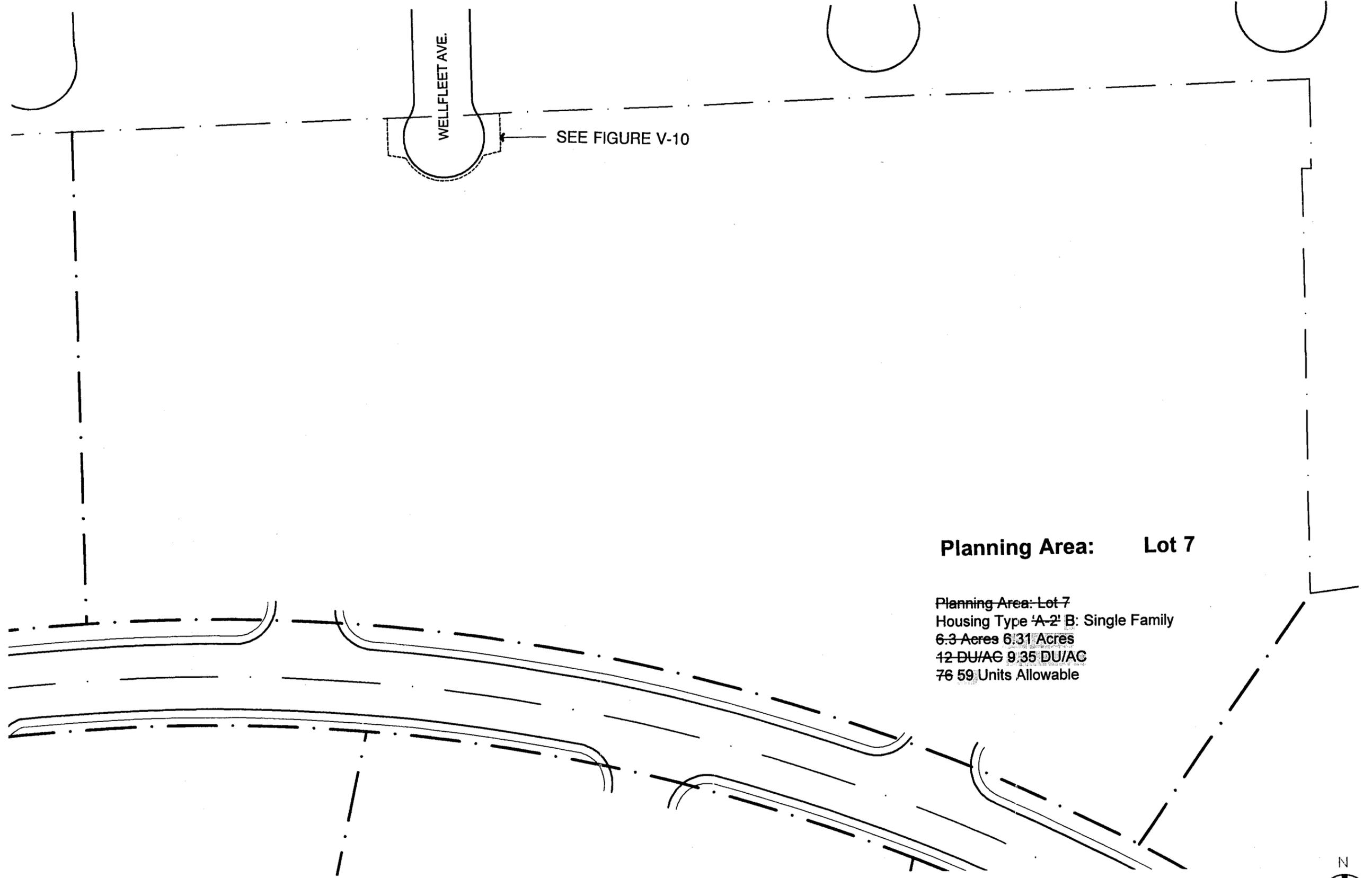
The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.

- b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line, or the adjacent edge of the sidewalk, if applicable.
- c) A roadway landscape treatment, as shown on *Figure VI-6*, is planned along the access road and ~~the main loop drive~~ **North Oakhill Circle**.
- d) See Section V.1.e, *Grading Plan*, and *Figure V-16* for ~~relative pad elevations~~ **Conceptual Retaining Wall Plan**.
- e) Please refer to Section VI for specific *Design Guidelines*, and other related design criteria.
- f) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
- g) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;
 - Grading Plan;
 - Phasing Plan;
 - Open Space and Recreation Plan;
 - Landscaping Plan;
 - Comprehensive Maintenance Plan.

i. Planning Area Lot 7: *Housing Type A-2B*

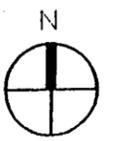
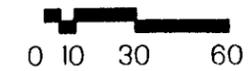
1) Descriptive Summary:

- a) Planning Area Lot 7, as depicted in *Figure V-25*, provides for the development of ~~6.3~~ **6.31** acres, total. A maximum of ~~seventy-six~~ **seventy-five** ~~fifty-nine~~ **(59)** dwelling units are allowed (~~seventy-five are anticipated~~), in a single family configuration, with a density of ~~9.35~~ dwelling units per acre.
- b) Building height: Two stories; 30 feet.
- c) Parking: Two covered spaces, with one-half guest parking space per unit. The guest parking stalls ~~are to be parallel curb parking~~ **shall be** within, or directly adjacent to, the Planning Area.
- d) Maximum lot coverage: Fifty percent (50%).



Planning Area: Lot 7

Planning Area: Lot 7
Housing Type 'A-2' B: Single Family
6.3 Acres 6.31 Acres
12 DU/AC 9.35 DU/AC
76 59 Units Allowable



- 2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.
- 3) Planning Standards:

- a) Primary access points to Lot 7 will be provided from the entry drive, and from ~~the main loop road~~ North Oakhill Circle (see *Figures VI-5 and VI-6*).

The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.

- b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line, or the adjacent edge of the sidewalk, if applicable.
- c) A roadway landscape treatment, as shown on *Figure VI-6*, is planned along the access road and ~~the main loop drive~~ North Oakhill Circle.
- d) See *Figure V-10* for that portion of the site affected by the improvement of the cul-de-sac bulb at the terminus of Wellfleet Street.
- e) See Section V.1.e, *Grading Plan*, and *Figure V-16* for ~~relative pad elevations~~ *Conceptual Retaining Wall Plan*.
- f) Please refer to Section VI for specific *Design Guidelines*, and other related design criteria.
- g) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
- h) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;
 - Grading Plan;
 - Phasing Plan;
 - Open Space and Recreation Plan;
 - Landscaping Plan;
 - Comprehensive Maintenance Plan.

j. Planning Area Lot 8: Housing Type A-1B.

- 1) Descriptive Summary:
 - a) Planning Area Lot 8, as depicted in *Figure V-26*, provides for the development of ~~6.2~~ 6.06 acres devoted to residential use. An allowable unit count of ~~fifty~~ fifty four (54) dwelling units are planned in a single family configuration, with a density of ~~8.91~~ dwelling units per acre.
 - b) Building height: Two stories; 30 feet.
 - c) Parking: Two covered spaces, with one-half guest parking stall per unit. The guest parking stalls shall be ~~parallel-curb parking~~ within, or directly adjacent to, the Planning Area.
 - d) Maximum lot coverage: Fifty percent (50%).
- 2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.
- 3) Planning Standards:
 - a) Primary access points to Lot 8 will be provided from the entry drive, and from the ~~main-loop road~~ North Oakhill Circle (see *Figures VI-5 and VI-6*).

The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.
 - b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line, or the adjacent edge of the sidewalk, if applicable.
 - c) A roadway landscape treatment, as shown on *Figure VI-6*, is planned along the access road and the ~~main-loop drive~~ North Oakhill Circle.
 - d) Along the southwest and west property lines, there is an access easement for the maintenance of the Retention Basin at the northwest corner of the site. The Planning Area Developer is responsible for the construction of a 6'-0" high ornamental metal fence along the easterly easement line at the rear yards of the residences abutting the easement.

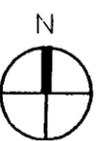
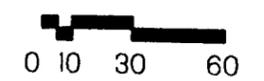
STEVENSON
VILLAGE PARK

Planning Area: Lot 8

Planning Area: Lot 8
Housing Type 'A-1' B: Single Family
6.2 Acres 6.06 Acres
8 DU/AC 8.91 DU/AC
50 Units Allowable 54 Units Allowable

15' RETENTION BASIN MAINTENANCE EASEMENT

Access to the retention basin will be provided through interior access roads minimizing the 15' Retention Basin Easement pursuant to approval by the Planning Commission



- e) See Section V.1.e, *Grading Plan*, and *Figure V-16* for relative pad elevations *Conceptual Retaining Wall Plan*.
- f) Please refer to Section VI for specific *Design Guidelines*, and other related design criteria.
- g) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
- h) When ~~planning a~~ *Area Lot 8* develops, access to the retention basin will be provided through the interior access roads minimizing the 15' ~~0"~~ retention basin easement; pursuant to approval by the Planning Commission.
- i) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;
 - Grading Plan;
 - Phasing Plan;
 - Open Space and Recreation Plan;
 - Landscaping Plan;
 - Comprehensive Maintenance Plan.

k. Planning Area Lot 9: *Housing Type A-2B*

- 1) Descriptive Summary:
 - a) Planning Area Lot 9, as depicted in *Figure V-27*, provides for the development of ~~4.9502~~ acres devoted to residential use. ~~Fifty-nine~~ *Forty-five (45)* dwelling units are allowed in a single family detached configuration, with a density of ~~8.96~~ dwelling units per acre.
 - b) Building Height: Two stories; 30 feet.
 - c) Parking: Two covered spaces, with one-half guest parking stall per unit. Guest parking shall be ~~parallel curb parking~~ within, or directly adjacent to, the Planning Area.
 - d) Maximum lot coverage: Fifty percent (50%).
- 2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.

STEVESON VILLAGE PARK

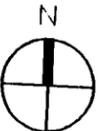
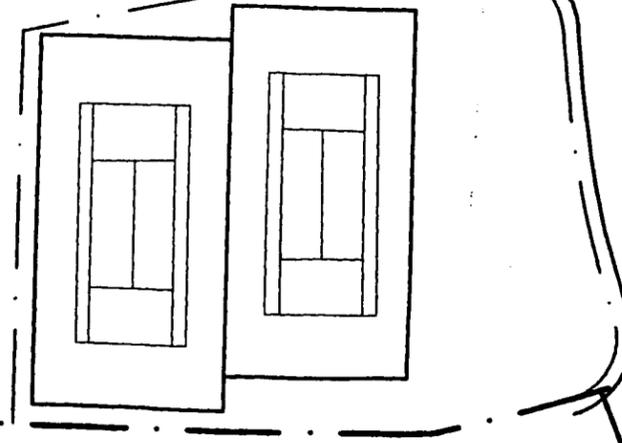
FRANKE STREET

MEADBROOK STREET

6'-0" HIGH DECORATIVE
MASONRY FENCE

Planning Area: Lot 9

Planning Area: Lot 9
Housing Type 'A-2' B: Single Family
4.9 Acres 5.02 Acres
42 DU/AG 8.96 DU/AC
59 Units Allowable 45 Units Allowable



DOMINGUEZ HILLS VILLAGE SPECIFIC PLAN
PREPARED FOR THE ESTATE OF ALBERT LEVINSON

Figure V-27

- 3) Planning Standards:
- a) Primary access points to Lot 9 will be provided from the entry drive, and from the main loop road North Oakhill Circle (see *Figures VI-5 and VI-6*).

The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.
 - b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line, or the adjacent edge of the sidewalk, if applicable.
 - c) A roadway landscape treatment, as shown on *Figure VI-6*, is planned along the access road and the main loop drive North Oakhill Circle.
 - d) See *Figure V-8* for improvement to the cul-de-sac terminus at Meadbrook Street.
 - e) Along the northeast property line, there is an access easement for the maintenance of the Retention Basin. The Planning Area Developer is responsible for the construction of a 6'-0" high ornamental metal fence at the rear yards of the buildings along the northeasterly property line.
 - f) An underground easement is located along the west and south property lines (see *Figures IV-7, IV-10 and IV-11*). The easement may be planted over; however, no structures shall be built within the easement.
 - g) See Section V.1.e, *Grading Plan*, and *Figure V-16* for relative pad elevations Conceptual Retaining Wall Plan.
 - h) Please refer to Section VI for specific *Design Guidelines*, and other related design criteria.
 - i) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
 - j) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;

- Grading Plan;
- Phasing Plan;
- Open Space and Recreation Plan;
- Landscaping Plan;
- Comprehensive Maintenance Plan.

I. Planning Area Lot 10: Open Area Park Housing Type C.

1) Descriptive Summary:

- a) Planning Area Lot 10, as depicted in *Figure V-28*, provides for the development of 0.6271 acres of land devoted to common area park use. The park will contain a half basketball court, two tennis courts and landscaping for the residents' use. See *Figure VI-13* for conceptual design. residential use. With a density of 15.87 dwelling units per acre, 43 residences are allowed.
- b) There is no required parking for the park. All parking will be curb parking on streets adjacent to the park. Building height: Two stories; 30 feet.
- c) See Landscape Design Guidelines for any structure to be built within the park. Parking: Two covered spaces, with one-half guest parking stall per unit. The guest parking stalls shall be within, or directly adjacent to, the Planning Area.
- d) Maximum lot coverage: Sixty percent (60%).

2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.

3) Planning Standards:

- a) The Master Developer will build the parks in the phases indicated in the Phasing Tables, pages V-44 through V-46, prior to obtaining the Certificate of Occupancy for residences in said Phase. Primary access to Lot 10 will be provided via Cedarbluff Way and South Oakhill Circle (see *Figures VI-5 and VI-6*).

The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.

- b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line, or the adjacent edge of the sidewalk, if applicable.

~~Lot 10~~ **Lot 20**

~~Planning Area: Lot 10~~
~~Open Space~~
~~0.6 Acres~~ **0.58 Acres**
~~Park~~

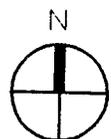
6'-0" HIGH DECORATIVE
MASONRY FENCE

Planning Area: Lot 11 ~~Lot 10~~

~~Planning Area: Lot 11~~
~~Housing Type 'A-2' C: Single Family~~
~~2.5 Acres~~ **2.71 Acres**
~~12 DU/AG~~ **15.87 DU/AC**
~~29 Units Allowable~~ **43 Units Allowable**

15' UNDERGROUND UTILITIES EASEMENT

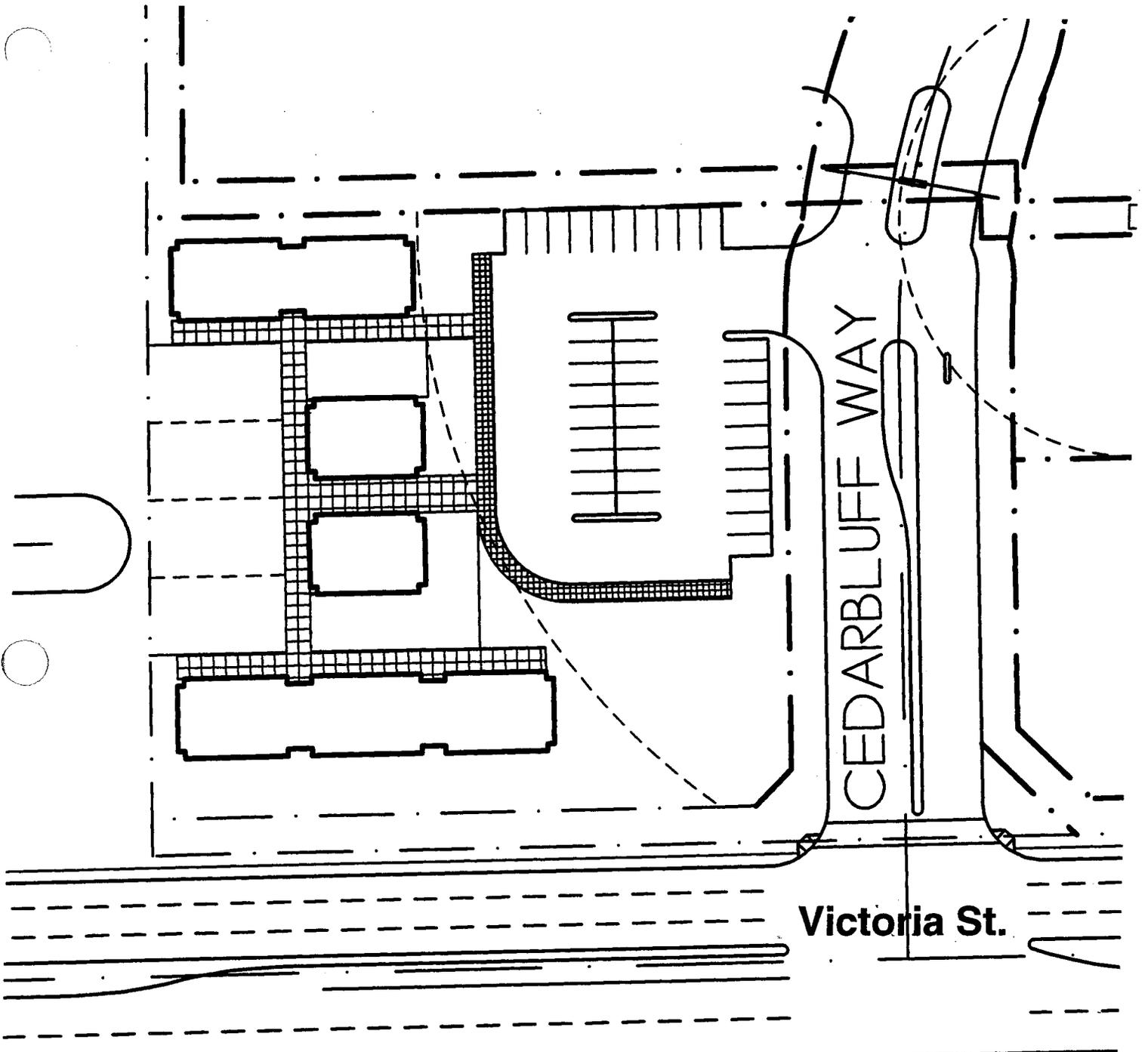
0 10 30 60



- c) A roadway landscape treatment, as shown on *Figures VI-6*, is planned along Cedarbluff Way and South Oakhill Circle.
- d) A land use edge condition, as shown on *Figure VI-13*, will interface with the proposed residences in Lot 10, and the adjacent park on Lot 20.
- e) An underground easement is located along the south and west property lines (see *Figures IV-7 and IV-8*). The easement may be planted over; however, no structures are to be built within the easement.
- f) See Section V.1.e, *Grading Plan*, and *Figure V-16, Conceptual Retaining Wall Plan*.
- g) Please refer to Section VI for specific *Design Guidelines*, and other related design criteria.
- h) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
- i) Prior to occupancy of Phase 5, the minimum 50,000 s.f. retail center will be developed.
- e j) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;
 - Grading Plan;
 - Phasing Plan;
 - Open Space and Recreation Plan;
 - Landscaping Plan;
 - Comprehensive Maintenance Plan.

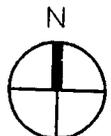
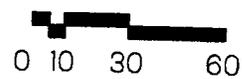
m. Planning Area Lot 11: Housing Type A-2 Child Care Center.

- 1) Descriptive Summary:
 - a) Planning Area Lot 11, as depicted in *Figure V-29*, provides for the development of ~~2.5~~ 1.6 acres of land devoted to residential educational/child care use. ~~With a density of 12.0 dwelling units per acre, twenty-nine residences are allowed.~~ An anticipated capacity for the child care center is 150 children in approximately 15,000 square feet of structures and adjacent secured play area, as required by Code.
 - b) Building height: ~~Two (2) stories; 30 feet.~~ One story, 24 feet.



Planning Area: **Lot 12** **Lot 11**

Planning Area: Lot 12
Child Care Facility Center
1.6 Acres



- c) ~~Parking: Two (2) covered spaces, with one half-guest parking stall per unit. The guest parking stalls shall be parallel curb parking within, or directly adjacent to, the Planning Area. 0.75 stall per staff member, and one space per eight children. Provisions satisfactory to the City Traffic Engineer shall be made for drop-off and pick-up.~~
 - d) ~~Maximum lot coverage: Fifty percent (50%) Thirty percent (30%).~~
- 2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.

3) Planning Standards:

- a) ~~Primary access to Lot 11 will be provided via the entry drive, and the main loop road (see Figures VI-5 and VI-6).~~

~~The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint. Cedarbluff Way at the northeast portion of Lot 11, and outside the Dominguez Hills Village Security Gate. The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. There shall be no access from the child care facility directly off or onto Victoria Street.~~

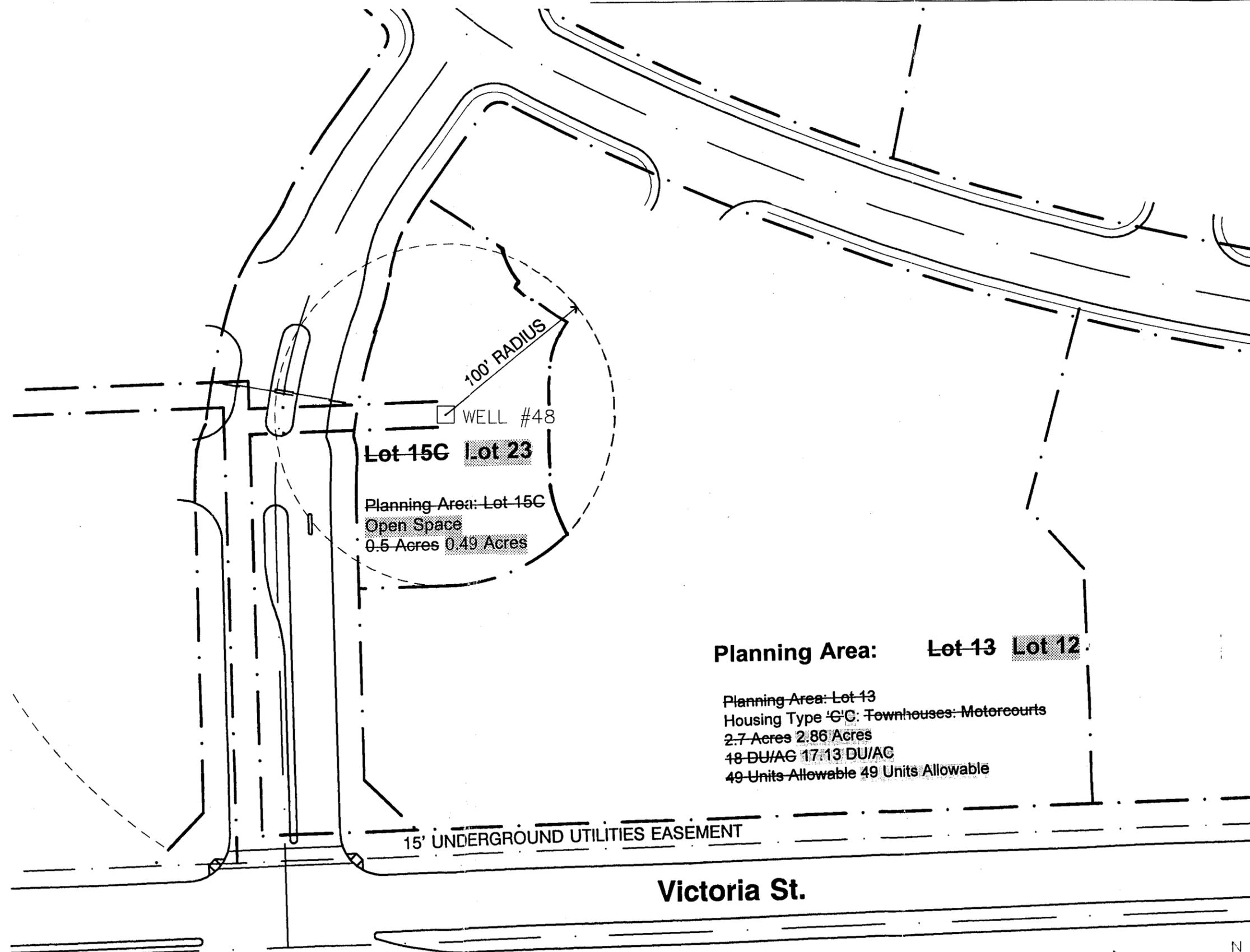
~~The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.~~

- b) ~~Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line, or the adjacent edge of the sidewalk, if applicable.~~
- e) ~~A roadway landscape treatment, as shown on Figures VI-4 and VI-69, is planned along the access road and the main loop road Cedarbluff Way and Victoria Street.~~
- e) ~~A land use edge condition, as shown on Figure VI-13, will interface with the proposed residences in Lot 11, and the adjacent park on Lot 10.~~
- e) ~~An underground easement is located along the south and west property lines (see Figures IV-7 and IV-8). The easement may be planted over; however, no structures are to be built within the easement.~~

- f) ~~See Section V.1.e, Grading Plan, and Figure V-16 for relative pad elevations.~~
- g) ~~Please refer to Section VI for specific Design Guidelines, and other related design criteria.~~
- h) ~~Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.~~
- i) ~~Prior to issuance of a Certificate of Occupancy for Lot 11 (Phase 5) the retail center on lots 23A & 23B shall be developed.~~
- c) The easement indicated at the north property line will be a subsurface easement and available to residents directly to the north of Lot 11. At the north and west property lines, a decorative 6'-0" high masonry wall shall be built.
- d) No structures or play yards for the use by children attending the child care center may be built within the 300'-0" radius of the oil well on Lot 23. Parking and other non-educational or institutional uses permitted by the Los Angeles County Fire Department may be built within the 300'-0" radius.
- je) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;
 - Grading Plan;
 - Phasing Plan;
 - Open Space and Recreation Plan;
 - Landscaping Plan;
 - Comprehensive Maintenance Plan.
- n. Planning Area Lot 12: ~~Child Care Center~~ Housing Type C.

1) Descriptive Summary:

- a) Planning Area Lot 12, as depicted in Figure V-30, provides for the development of 4.6 ~~2.86~~ acres of land devoted to Educational/Child Care use. An anticipated capacity for the Child Care Center is 150 children in approximately 15,000 square feet (s.f.) of structures and adjacent secured play area, as required by Code. The lot will have an approximately 0.20 Floor Area Ratio (F.A.R.) residential use. An allowable unit count of 49 dwelling units in a townhouse configuration is planned for the site, resulting in a density of 17.13 dwelling units per acre.
- b) Building height: One (1) story, 24 feet. Two stories, 30 feet.



Lot 15G Lot 23

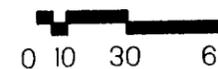
Planning Area: Lot 15G
Open Space
0.5 Acres 0.49 Acres

Planning Area: Lot 13 Lot 12

Planning Area: Lot 13
Housing Type 'G': Townhouses: Motorcourts
2.7 Acres 2.86 Acres
48 DU/AG 17.13 DU/AG
49 Units Allowable 49 Units Allowable

15' UNDERGROUND UTILITIES EASEMENT

Victoria St.



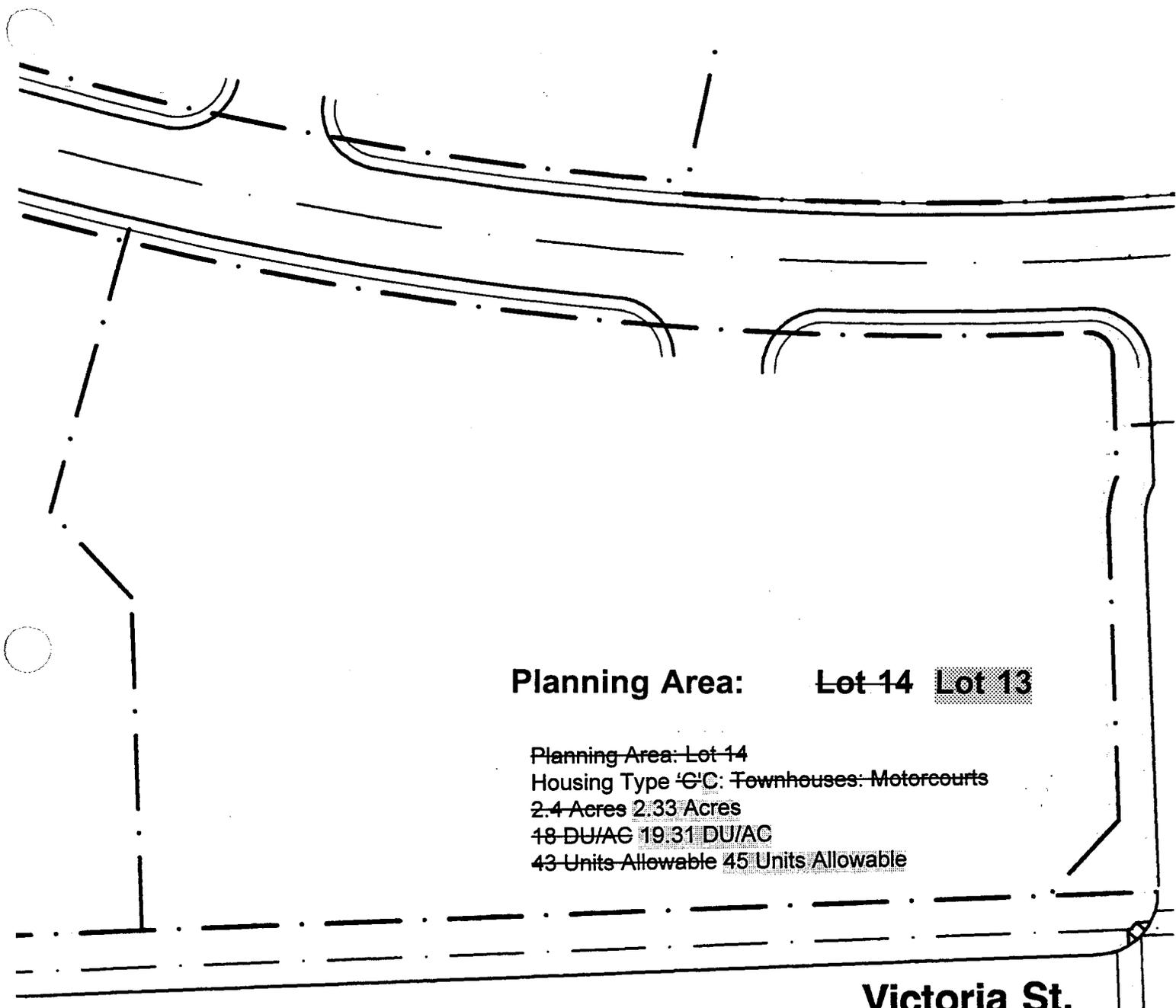
- c) ~~Parking: 0.75 stall per staff member, and one space per eight (8) children. Provisions satisfactory to the City Traffic Engineer shall be made for drop-off and pick-up. Two covered spaces, with one-half guest parking space per unit. The guest parking stalls shall be within, or directly adjacent to, the Planning Area.~~
- d) ~~Maximum lot coverage: Thirty percent (30%) Sixty percent (60%).~~
- 2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.
- 3) Planning Standards:
 - a) ~~Primary access to Lot 12 will be provided via the secondary entry on Victoria Street at the northwest portion of the property, and outside the Dominguez Hills Village Security Gate. The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. There shall be no access from the child care facility directly off or onto Victoria Street. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint South Oakhill Circle. See Figures VI-7 and VI-8. The curb cut depicting Planning Area entrances are conceptual in nature, and do not represent final location or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.~~
 - b) ~~A roadway landscape treatment, as shown on Figures VI-4, VI-9, and VI-11, is planned along the main loop road and the residents' access Cedarbluff Way, Victoria Street, and South Oakhill Circle.~~
 - e) ~~The easement indicated at the north property line will be a subsurface easement and available to residents directly to the north of Lot 12. At the north and west property lines, a decorative 6'-0" high masonry wall shall be built.~~
 - d) ~~No structures or play yards for the use by children attending the Child Care Center may be built within the 300-foot radius of the oil well on Lot 15C. Parking and other non-educational or institutional uses permitted by the Los Angeles County Fire Department may be built within the 300-foot radius.~~
 - c) ~~Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line.~~
 - d) ~~A secondary project entry is planned from Lot 13, located adjacent to the east.~~

- e) Should the final configuration resemble the layout as shown on *Figure V-2*, a mutual access easement between Lots 12 and 13 shall be recorded.
- f) Minor pedestrian entries, as shown on *Figure VI-16*, are planned at the eastern edge of the open space park. See the *Design Guidelines*.
- g) The Planning Commission Site Design Approval will include review for compliance with the Conditional Use Permit, Los Angeles County Fire Department, and the ordinance relating to the continued oil production on Lot 23.
- h) Please refer to Section VI for specific *Design Guidelines* and other related design criteria.
- i) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
- e) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;
 - Grading Plan;
 - Phasing Plan;
 - Open Space and Recreation Plan;
 - Landscaping Plan;
 - Comprehensive Maintenance Plan.

o. Planning Area Lot 13: *Housing Type C*.

1) Descriptive Summary:

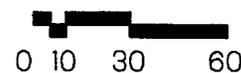
- a) Planning Area Lot 13, as depicted in *Figure V-31*, provides for the development of ~~2.7~~ ~~2.33~~ acres of land devoted to residential use. An allowable unit count of ~~forty-nine (49)~~ ~~45~~ dwelling units in a town-house configuration is planned for the site, resulting in a density of ~~18~~ ~~19.31~~ dwelling units per acre.
- b) Building height: ~~Three (3) stories; 36 feet.~~ ~~Two stories; 30 feet~~
- c) Parking: Two (2) covered spaces, with one-half guest parking space per unit. The guest parking stalls shall be ~~parallel curb parking~~ within, or directly adjacent to, the Planning Area.
- d) Maximum lot coverage: Sixty percent (60%).



Planning Area: Lot 14 Lot 13

Planning Area: Lot 14
Housing Type 'C': Townhouses: Motorcourts
2.4 Acres 2.33 Acres
48 DU/AC 19.31 DU/AC
43 Units Allowable 45 Units Allowable

Victoria St.



- 2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.
- 3) Planning Standards:
 - a) Primary access to Lot 13 will be provided via the main loop road South Oakhill Circle. See Figures VI-7 and VI-8. The curb cut depicting Planning Area entrances are conceptual in nature, and do not represent final location or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.
 - b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line.
 - c) A secondary Project entry is planned from Lot 44, 12 located adjacent to the east west.
 - d) Should the final configuration resemble the layout as shown on Figure V-2, a mutual access easement between Lots 43, 12 and 44, 13 shall be recorded.
 - ~~e) Minor pedestrian entries, as shown on Figure VI-16, are planned at the western edge of the open space park. See the Landscape Design Guidelines.~~
 - ~~f) The park located between the project road and the residents' entry drive contains an oil production well; an access easement for said well shall be approved prior to recordation of any subdivision.~~
 - ~~g) Lot 15C contains oil producing well #48. Access shall be provided via Lot 13 to Lot 15C for occasional maintenance. See Figures IV-7 and IV-8 for easement and maintenance equipment requirements.~~
 - ~~h) The Planning Commission Site Design Approval will include review for compliance with the C.U.P. and the ordinance relating to the continued oil production on-site.~~
 - ~~e) See Figures VI-2 and VI-3 for Birchknoll Drive layout and design.~~
 - i) Please refer to Section VI for specific *Design Guidelines* and other related design criteria.
 - j) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
 - k) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site.

- Specific Land Use Plan;
- Circulation Plan;
- Drainage Plan;
- Water, Reclaimed Water and Sewer Plans;
- Grading Plan;
- Phasing Plan;
- Open Space and Recreation Plan;
- Landscaping Plan;
- Comprehensive Maintenance Plan.

p. Planning Area Lot 14: Housing Type G A-1.

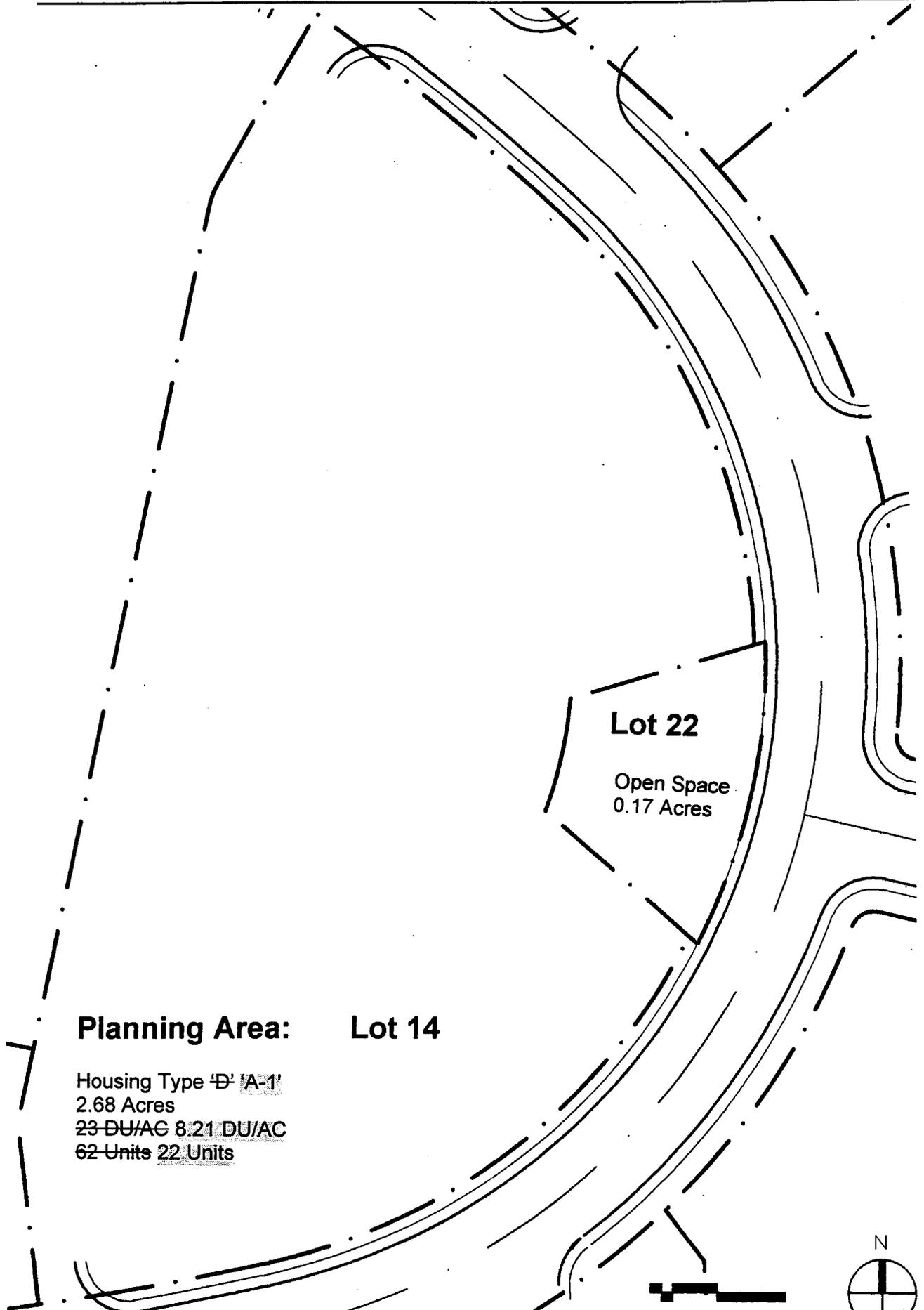
1) Descriptive Summary:

- a) Planning Area Lot 14, as depicted in *Figure V-32*, provides for the development of ~~2.4~~ ~~2.68~~ acres of land devoted to residential use in a single family detached configuration at a density of ~~8.21~~ dwelling units per acre for a total of 22 units. An allowable unit count of forty three dwelling units in a townhouse configuration is planned for the site, resulting in a density of 18 dwelling units per acre.
- b) Building height: ~~Three stories; 36 feet.~~ Two stories 30 feet.
- c) Parking: Two covered spaces, with one-half guest parking space per unit. The guest parking stalls shall be parallel curb parking within, or directly adjacent to, the Planning Area.
- d) Maximum lot coverage: Sixty percent (60%).

2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.

3) Planning Standards:

- a) ~~P~~The primary access to Lot 14 will be provided via the main loop road North and South Oakhill Circle. See *Figures VI-7 and VI-8*. The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.
- b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line.
- c) ~~A secondary project entry is planned from Lot 13 located adjacent to the west.~~

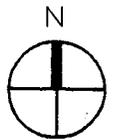


Planning Area: Lot 14

Housing Type 'D' 'A-1'
2.68 Acres
23 DU/AC 8.21 DU/AC
62 Units 22 Units

Lot 22

Open Space
0.17 Acres

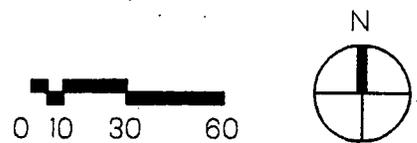


- d) Should the final configuration resemble the layout as shown on *Figure V-2*, a mutual access easement between Lots 13 and 14 and 15 shall be recorded.
 - e) See *Figure VI-2 and VI-3* for adjacent main entry layout and design.
 - d) Minor pedestrian entries to Lot 22, as shown on *Figures VI-1 and VI-15*, are planned at the park intersection of North and South Oakhill Circle and Aspen Hill Road, off Central Avenue.
 - fe) Please refer to Section VI for specific *Design Guidelines* and other related design criteria.
 - gf) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
 - hg) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;
 - Grading Plan;
 - Phasing Plan;
 - Open Space and Recreation Plan;
 - Landscaping Plan;
 - Comprehensive Maintenance Plan.
- q. Planning Area Lot 15A, 15B, 15C, and 15D 15: Common Area Parks Housing Type A-1
- 1) Descriptive Summary:
 - a) Planning Area Lot 15A, as depicted in *Figure V-33*, provides for the development of one (1) acre of land devoted to common area park use. An approximately 2,000 s.f. residents' building will be built as part of Phase 1 improvements. See *Figure VI-14* for conceptual design layout of the park. 3.05 acres of land devoted to residential use in a single family detached configuration at a density of 8.20 dwelling units per acre for a total of 25 units.
 - b) Planning Area Lot 15B, as depicted in *Figure V-33*, provides for the development of 0.2 acres of land devoted to common area park use, which will be built as a part of Phase 1 improvements. See *Figure VI-15* for conceptual design layout of the park.
 - e) Planning Area Lot 15C, as depicted in *Figure V-33*, provides for the development of 0.5 acres of land devoted to common area park use, which will be built as a part of Phase 7. See *Figure VI-16* for conceptual design layout of the park.

Lot 25
Open Space
0.12 Acres

Planning Area: Lot 15

Housing Type 'G' 'A-1'
3.05 Acres
48 DU/AG 8:20 DU/AC
55 Units 25 Units



- d) ~~Planning Area Lot 15D, as depicted in Figure V-33, provides for the development of 0.5 acres of land devoted to common area park use, to be built as a part of Phase 1 improvements. See Figure VI-17 for conceptual design layout of the park.~~
 - e) ~~There is no required parking for the parks. All parking will be curb parking on streets adjacent to the parks.~~
 - f) ~~See Landscape Design Guidelines for any structures to be built within the parks.~~
 - b) ~~Building height: Two stories: 30 feet.~~
 - c) ~~Parking: Two covered spaces, with one-half guest parking space per unit. The guest parking stalls shall be within, or directly adjacent to, the Planning Area.~~
 - d) ~~Maximum lot coverage: Sixty percent (60%).~~
 - e) ~~Planning Area Lot 25, as depicted in Figure V-33, provides for the development of 0.12 acres of land devoted to common area park use, to be built as a part of Phase 1 improvements. See Figure VI-18 for conceptual design layout of the park.~~
 - f) ~~There is no required parking for Lot 25.~~
- 2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.
- 3) Planning Standards:
- a) ~~See Figures V-2, VI-1, VI-14, VI-15, VI-16 and VI-17 for illustrative layouts for location and access to parks.~~
 - b) ~~The Developer will build the parks in the phases indicated in the Phasing Tables, pages V-44 through V-46, prior to the issuance of a Certificate of Occupancy for residences in said Phase.~~
 - e) ~~The site plans for all parks and structures to be built shall be submitted to the Planning Department for Site Plan Review by the Planning Commission, and to the Building Department for a building permit, as applicable.~~
 - d) ~~Lots 15C and 15D contain oil producing wells. See Figures IV-7 and IV-8 for easement and maintenance equipment requirements.~~
 - e) ~~The Planning Commission's Site Design Approval will include review for compliance of oil producing Lots 15C and 15D with the C.U.P. and the Ordinance relating to the continued oil production on site.~~

~~f) The design of residential and child care uses on-site shall comply with all applicable regulatory agency requirements regarding setbacks from well heads.~~

a) The primary access to Lot 15 will be provided by an entry to the north and an entry to the south off North and South Oakhill Circle. See Figures VI-7 and VI-8. The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.

b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line.

c) Should the final configuration resemble the layouts shown on Figure V-2, a mutual access easement shall be recorded.

d) Please refer to Section VI for specific *Design Guidelines* and other related design criteria.

e) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.

gf) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:

- Specific Land Use Plan;
- Circulation Plan;
- Drainage Plan;
- Water, Reclaimed Water and Sewer Plans;
- Grading Plan;
- Phasing Plan;
- Open Space and Recreation Plan;
- Landscaping Plan;
- Comprehensive Maintenance Plan.

r. Planning Area Lot 16: Housing Type DA-1.

1) Descriptive Summary:

a) Planning Area Lot 16, as depicted in Figure V-34, provides for the development of 2.9 ~~2.45~~ acres of land devoted to residential use. ~~Sixty-seven dwelling units in a townhouse and flat configuration are allowed. A density of 23 dwelling units per acre is planned. An allowable unit count of 24 dwelling units in a single family detached configuration are planned, with a density of 9.8 dwelling units per acre.~~

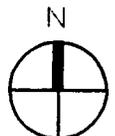
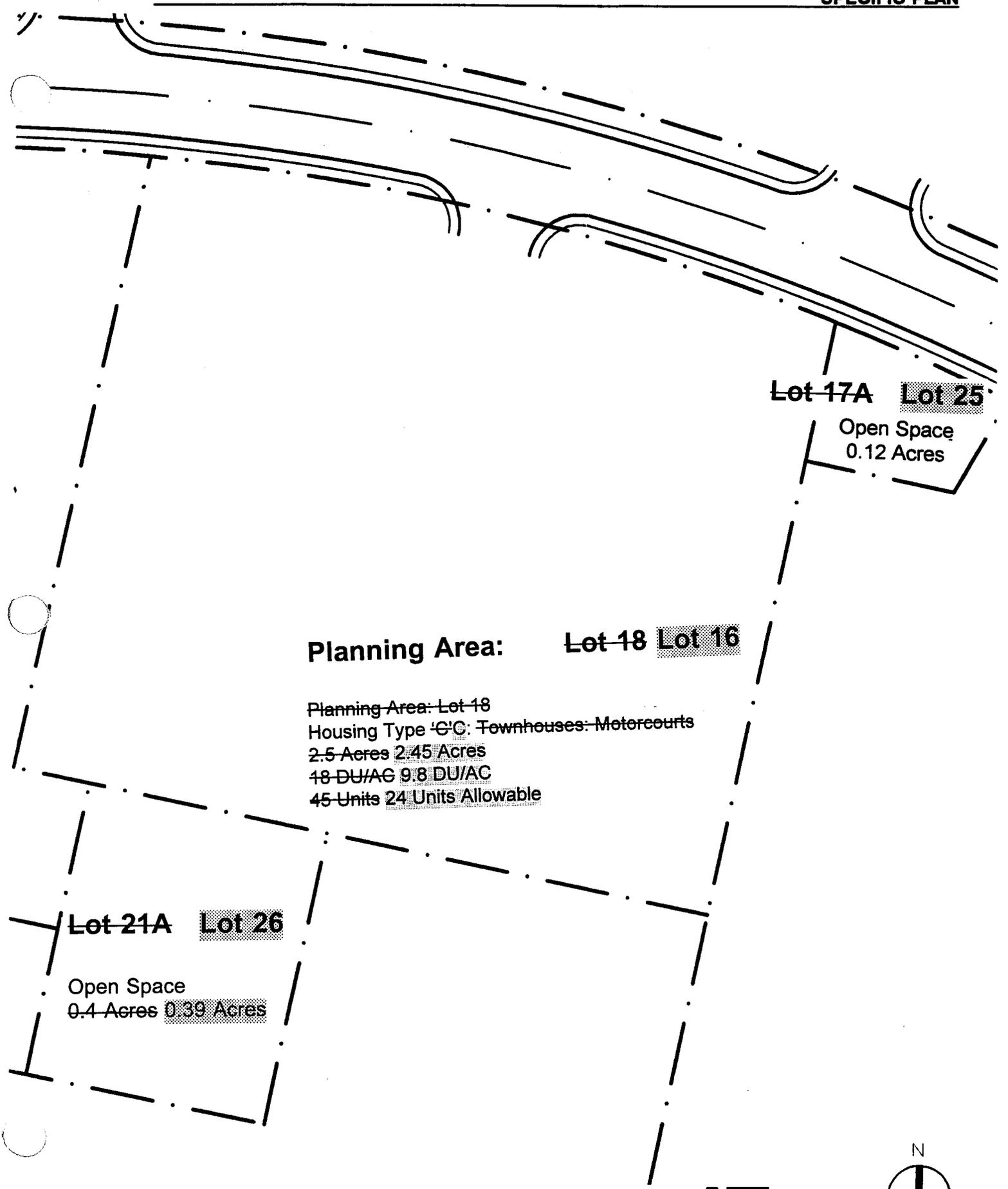


Figure V-34

- b) Building height: ~~Three stories; 36 feet.~~ Two stories, 30 feet.
 - c) Parking: Two covered spaces, with one-half guest parking space per unit. The guest parking stalls ~~are to be parallel curb parking~~ shall be within, or directly adjacent to, the Planning Area.
 - d) Maximum lot coverage: ~~Sixty-Fifty percent (650%)~~ lot area.
- 2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.
- 3) Planning Standards:
- a) The primary access to Lot 16 will be provided ~~by an entry to the north and an entry to the south off the main loop road via North Oakhill Circle. See Figures VI-7 and VI-8. There will be an access point to the south via Lot 19.~~ The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.
 - b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line.
 - ~~e) The currently contemplated entry is a shared entry between Lots 16 and 17. Access and entry points shall be approved prior to the approval of the affected subdivision.~~
 - ~~d) Should the final configuration resemble the layout as shown on Figure V-2, a mutual access easement shall be recorded.~~
 - ~~e) Minor pedestrian entries, as shown on Figures VI-1 and VI-15, are planned at the park intersection of the main loop road and the east/west residents' secondary entry road, off Central Avenue.~~
 - ~~c) Minor pedestrian access points are planned at the south property line for access to the common open area park (Lot 26), as well as to the park located to the northeast (Lot 25). See Figure VI-19.~~
 - ~~d) Should the final configuration resemble layouts as shown on Figure V-2, a mutual access easement shall be recorded for Lots 16 and 19.~~
 - ~~f) Please refer to Section VI for specific *Design Guidelines* and other related design criteria.~~
 - ~~g) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.~~

hg) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:

- Specific Land Use Plan;
- Circulation Plan;
- Drainage Plan;
- Water, Reclaimed Water and Sewer Plans;
- Grading Plan;
- Phasing Plan;
- Open Space and Recreation Plan;
- Landscaping Plan;
- Comprehensive Maintenance Plan.

s. Planning Area Lot 17: Housing Type GA-1.

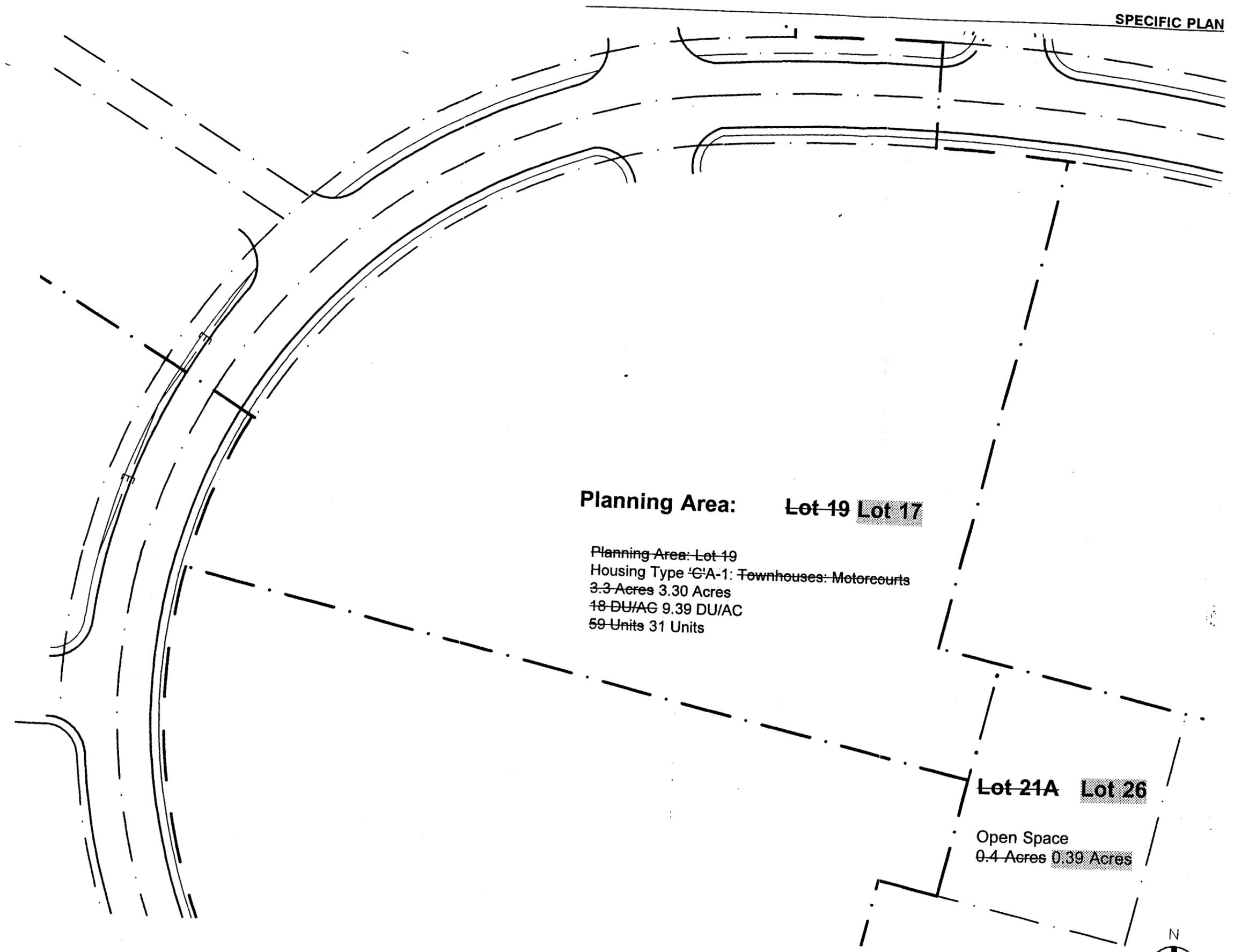
1) Descriptive Summary:

- a) Planning Area Lot 17, as depicted in *Figure V-35*, provides for the development of ~~3.1~~ ~~3.30~~ acres of land devoted to residential use. An allowable unit count of ~~fifty six dwelling units in a townhouse configuration are planned, with a density of 18.0 dwelling units per acre.~~ A maximum allowable unit count of 31 dwelling units in a single family detached configuration are planned, with a maximum density of 9.39 dwelling units per acre.
- b) Building height: ~~Three stories; 36 feet.~~ Two stories; 30 feet.
- c) Parking: Two covered spaces, with one-half guest parking space per unit. The guest parking stalls are to be parallel curb parking shall be within, or directly adjacent to, the Planning Area.
- d) Maximum lot coverage: ~~Sixty~~ Fifty percent (65%) lot area.
- e) Planning Area Lot 17A, as depicted in *Figure V-35*, provides for the development of 0.1 acres of land devoted to common area park use, to be built as part of Phase I improvements. See *Figure VI-18* for conceptual design layout of the park.
- f) ~~There is no required parking for Lot 17A.~~

2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.

3) Planning Standards:

- a) The primary access to Lot 17 will be provided by ~~two entries, one to the north and one to the south on the main loop road, from the north via North Oakhill Circle and from the south via adjacent Lot 18. See Figures VI-7 and VI-8. The currently contemplated entries are a shared entry between Lots 16 and 17. Access and entry points are to be approved prior to the approval of the affected subdivision. The~~



Planning Area: Lot 19 Lot 17

Planning Area: Lot 19
Housing Type 'C/A-1: Townhouses: Motorecourts
3.3 Acres 3.30 Acres
48 DU/AG 9.39 DU/AC
59 Units 31 Units

Lot 21A Lot 26

Open Space
0.4 Acres 0.39 Acres

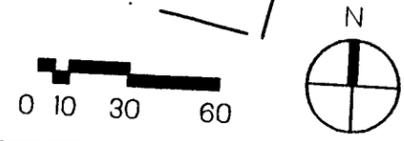


Figure V-35

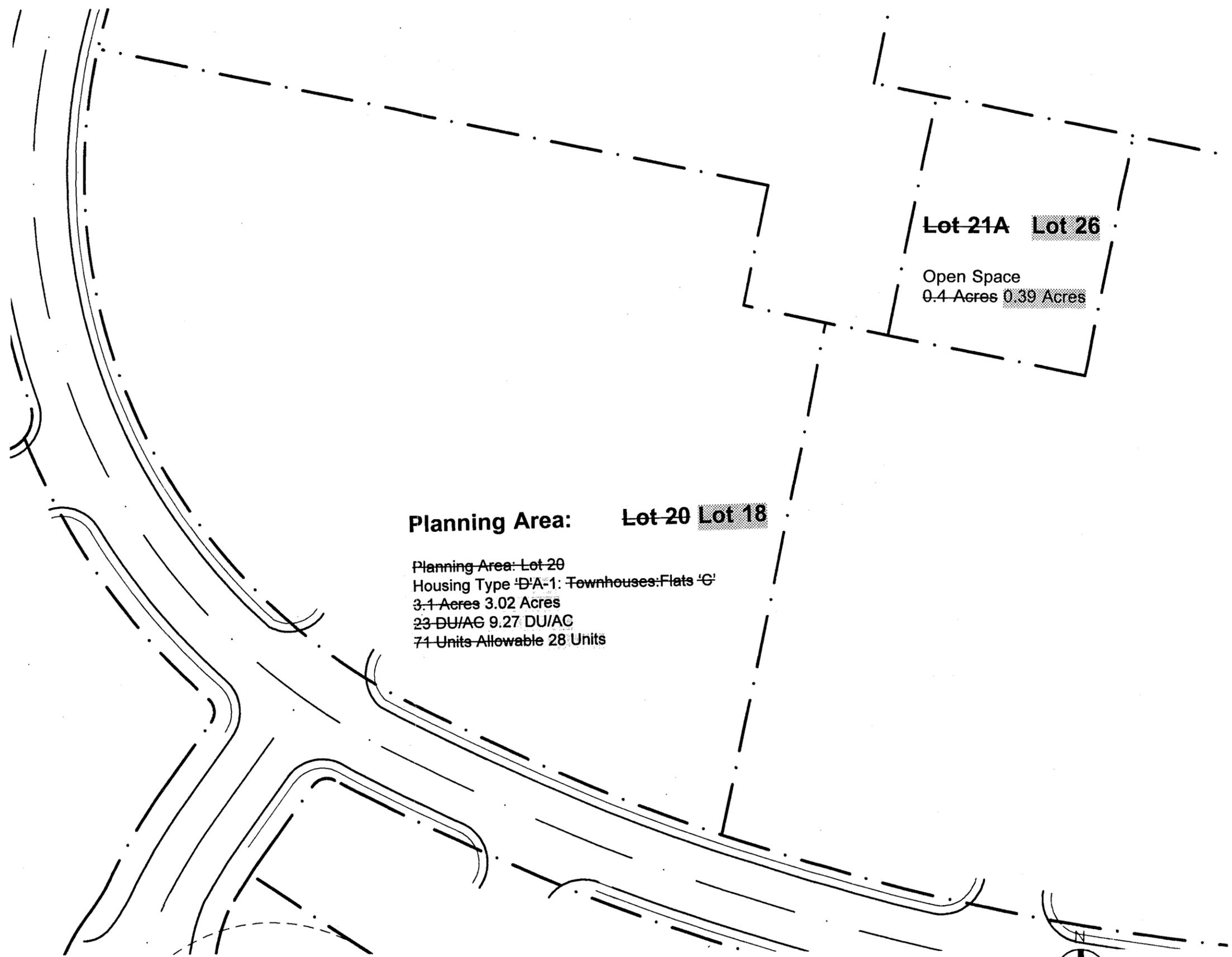
curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.

- b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line.
- c) ~~Minor pedestrian entries, as shown on Figures VI-14 and VI-18~~ access points are planned at park intersection of the south property line and adjacent park on Lot 15A, as well as at the northwest corner at Lot 17A, to the east for access to the common open area park (Lot 26). See Figure VI-19.
- d) Should the final configuration resemble the layouts as shown on Figure V-2, a mutual access easement shall be recorded between Lots 17 and 18.
- e) Please refer to Section VI for specific *Design Guidelines* and other related design criteria.
- f) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
- g) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;
 - Grading Plan;
 - Phasing Plan;
 - Open Space and Recreation Plan;
 - Landscaping Plan;
 - Comprehensive Maintenance Plan.

t. Planning Area Lot 18: Housing Type CA-1

1) Descriptive Summary:

- a) Planning Area Lot 18, as depicted in Figure V-36, provides for the development of 2.5 ~~3.02~~ acres of land devoted to residential use. An allowable unit count of forty-five dwelling units in a townhouse configuration are planned, with a density of 18 dwelling units per acre. A maximum allowable unit count of 28 dwelling units in a single family detached configuration are planned, with a maximum density of 9.27 dwelling units per acre.

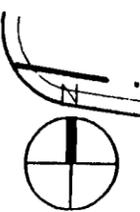
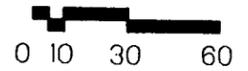


Lot 21A **Lot 26**

Open Space
0.4 Acres 0.39 Acres

Planning Area: Lot 20 Lot 18

Planning Area: Lot 20
Housing Type 'D'A-1: Townhouses: Flats 'G'
3.1 Acres 3.02 Acres
23 DU/AG 9.27 DU/AG
71 Units Allowable 28 Units



- b) Building height: Three stories; 36 feet. ~~Two stories; 30 feet.~~
 - c) Parking: Two covered spaces, with one-half guest parking space per unit. The guest parking stalls ~~are to be parallel curb parking shall be~~ within, or directly adjacent to, the Planning Area.
 - d) Maximum lot coverage: ~~Sixty~~ Fifty percent (50%).
- 2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.
- 3) Planning Standards:
- a) The primary access to Lot 18 will be provided via ~~the main loop road to the north. North and South Oakhill Circle, and from the north via a shared roadway with Lot 17. See Figures VI-7 and VI-8. There will be an access point to the south via Lot 21.~~ The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.
 - b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line.
 - c) ~~Minor Pedestrian access points are planned at the south property line for access to the common open area park. See Figure VI-19. to be provided along South Oakhill Circle, opposite the tennis courts, on Lot 20. A 10'-0" wide landscaped and hardscaped pedestrian access easement shall be recorded; the purpose of the easement is to provide residents and guests access to the park on Lot 26. The easement need not be exclusive to pedestrians, but may occur on internal project sidewalks.~~
 - d) Should the final configuration resemble ~~the~~ layouts as shown on *Figure V-2*, a mutual access easement ~~shall be recorded for will~~ have to be recorded between Lots 18 and 2117.
 - e) Please refer to Section VI for specific *Design Guidelines* and other related design criteria.
 - f) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
 - g) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;

- Water, Reclaimed Water and Sewer Plans;
- Grading Plan;
- Phasing Plan;
- Open Space and Recreation Plan;
- Landscaping Plan;
- Comprehensive Maintenance Plan.

u. Planning Area Lot 19: Housing Type CA-1.

1) Descriptive Summary:

a) Planning Area Lot 19, as depicted in *Figure V-37*, provides for the development of ~~3.3~~ 3.1 acres of land devoted to residential use. An allowable unit count of ~~fifty-nine (59)~~ twenty-six (26) dwelling units in a ~~two-story townhouse~~ single family detached configuration are planned, with a ~~maximum density of 48~~ 8.39 dwelling units per acre.

b) Building height: ~~Three (3) stories; 36 feet.~~ Two stories; 30 feet

c) Parking: ~~Two (2) covered spaces, with one-half guest parking space per unit. The guest parking stalls are to be parallel curb parking shall be within, or directly adjacent to, the Planning Area.~~

d) Maximum lot coverage: ~~Sixty Five percent (65%)~~ lot area.

e) ~~Planning Area Lot 26, as depicted in *Figure V-37*, and VI-19 provides for the development of 0.39 acres devoted to common area park use, to be built as a part of Phase 7 improvements. See *Figure VI-19* for conceptual design layout of the park.~~

f) ~~There is no required parking for Lot 26.~~

2) Land Use and Development Standards. Please refer to Ordinance No. 96-1084.

3) Planning Standards:

a) The primary access ~~points~~ to Lot 19 will be provided from the north via the main loop road, and from the south via adjacent Lot 20. ~~South Oakhill Circle S (see Figures VI-7 and VI-8), and through Lot 16 to North Oakhill Circle.~~ The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.

b) Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line.

e) ~~Minor pedestrian access points are planned to the east for access to the common open area park. See *Figure VI-19*.~~

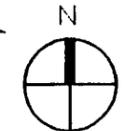
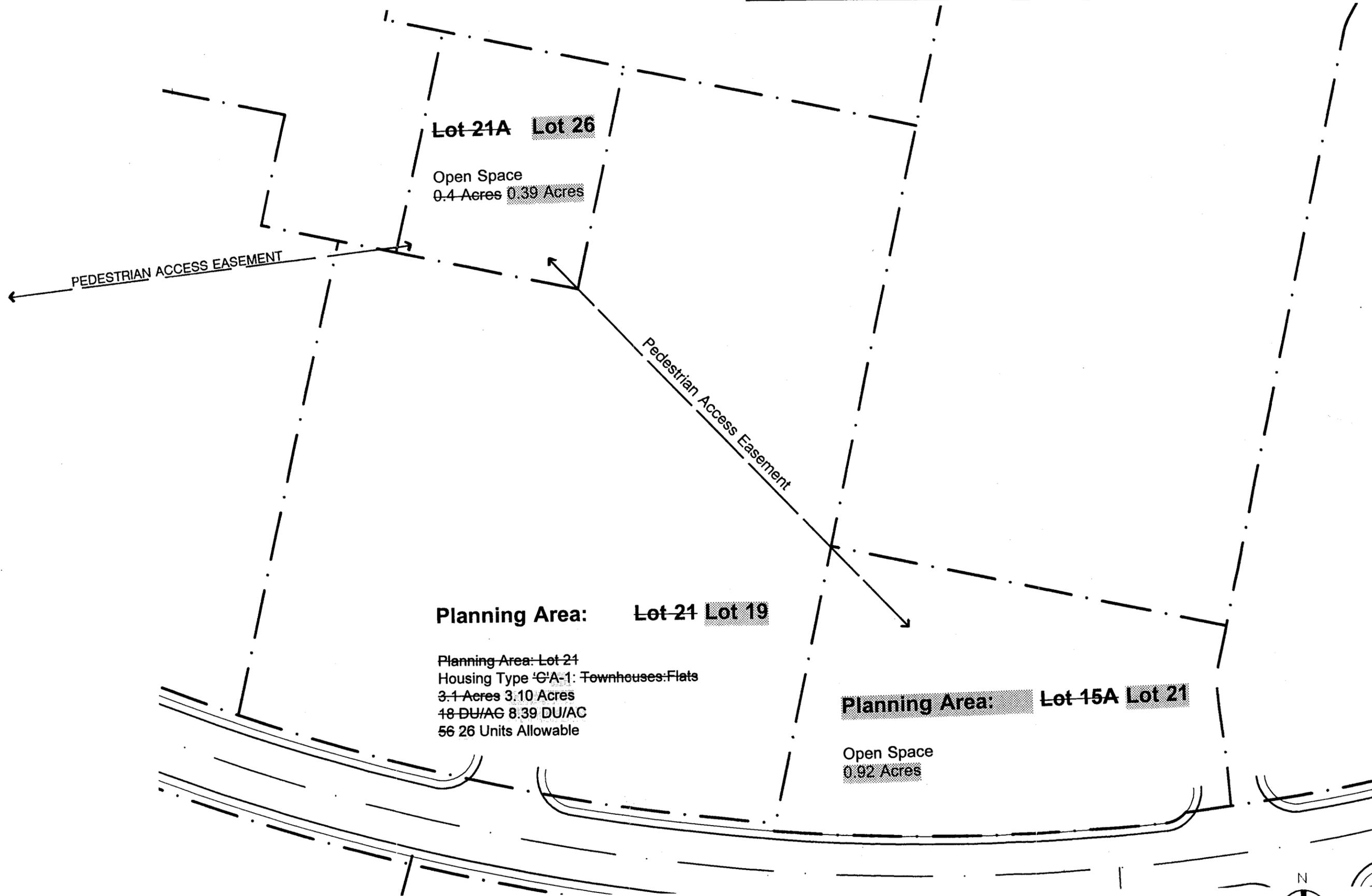
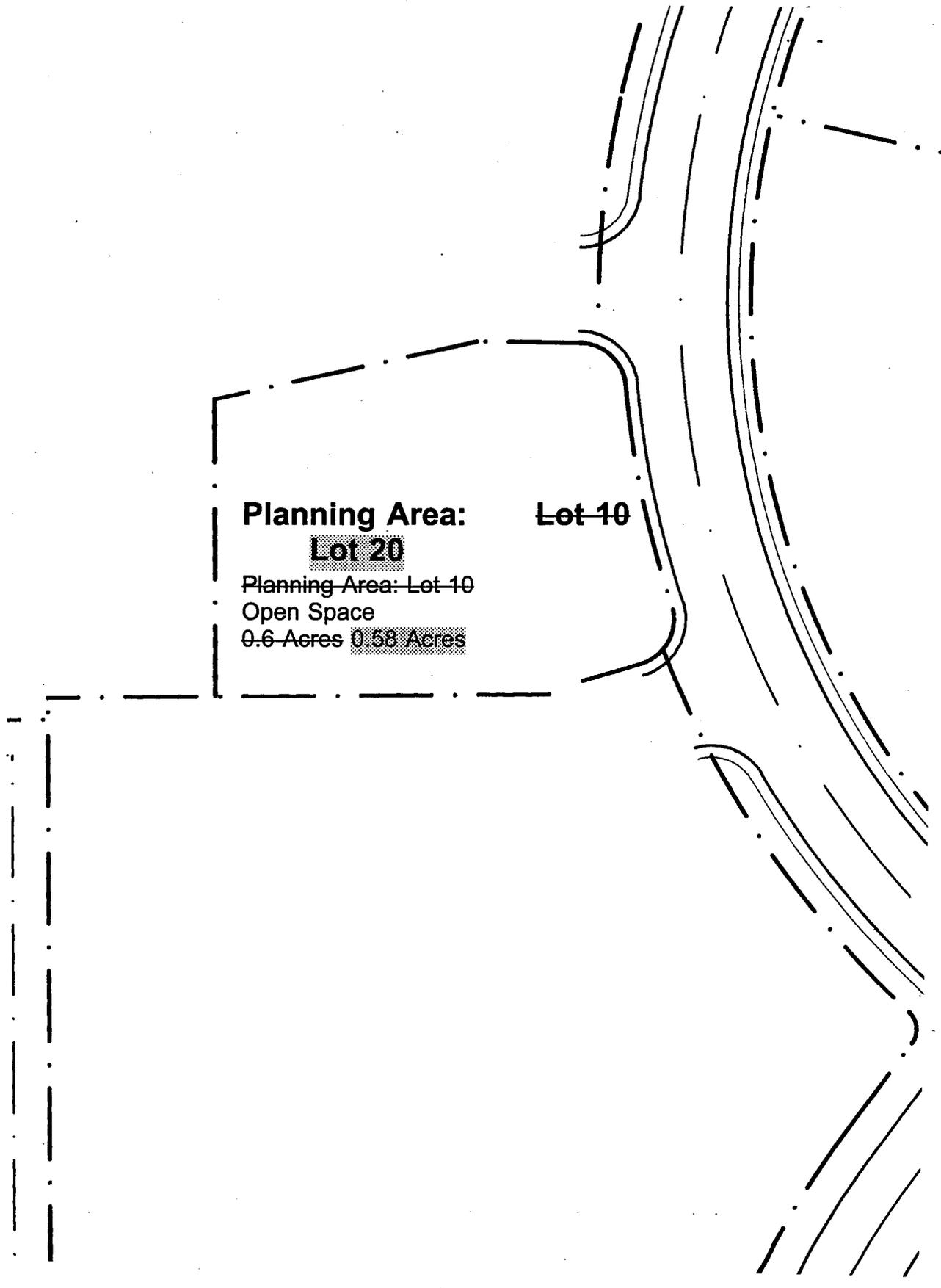


Figure V-37

- c) There is to be a 10'-0" minimum wide improved pedestrian access easement linking the northwest corner of the park at Lot 21 with the park at Lot 26 for use by Dominguez Hills Village residents. The easement may incorporate sidewalk and, if necessary, be within an internal road width.
- d) Should the final configuration resemble the layouts as shown on Figure V-2, a mutual access easement shall ~~must~~ be recorded between Lot 19 and 20 16.
- e) Pedestrian entries are planned at the common property line to the north with the adjacent park on Lot 26, and to the east at the common property line with the park on Lot 21.
- ef) Please refer to Section VI for specific *Design Guidelines* and other related design criteria.
- fg) Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.
- gh) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site wide:
 - Specific Land Use Plan.
 - Circulation Plan.
 - Drainage Plan.
 - Water, Reclaimed Water and Sewer Plans.
 - Grading Plan.
 - Phasing Plan.
 - Open Space and Recreation Plan.
 - Landscaping Plan.
 - Comprehensive Maintenance Plan.

v. Planning Area Lot 20: ~~Housing Type D Open Area Park~~.

- 1) Descriptive Summary:
 - a) Planning Area Lot 20, as depicted in Figure V-38, provides for the development of ~~3.4~~ 0.58 acres of land devoted to residential use. ~~A maximum allowable unit count of seventy-one dwelling units in a townhouse and flats configuration are planned, with a maximum density of 23 dwelling units per acre.~~ common area park use, which will be built as part of Phase 4. The park will contain a half-basketball court, two tennis courts and boxed landscaping for the residents' use. See Figure VI-13 for conceptual design.
 - b) ~~Building height: Three stories; 36 feet.~~
 - c) ~~Parking: Two covered spaces, with one half guest parking space per unit. The guest parking stalls are to be parallel curb parking within, or directly adjacent to, the Planning Area.~~



Planning Area: Lot 10

Lot 20

Planning Area: Lot 10

Open Space

0.6 Acres 0.58 Acres

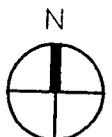
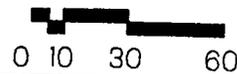


Figure V-38

d) ~~Maximum lot coverage: Sixty percent (60%) lot area.~~

b) ~~There is no required parking for the park. All parking will be curb parking on streets adjacent to the park.~~

c) ~~See *Design Guidelines* for any structures to be built within the park.~~

2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.

3) Planning Standards:

a) ~~The primary access to Lot 20 will be provided from the south off the main loop road, and from the north via a shared roadway with Lot 19. See *Figures VI 7 and 8*. The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.~~

b) ~~Driveway aprons are required to be less than 8' 0", or more than 18' 0" deep, perpendicular to and measured from the property line.~~

c) ~~Pedestrian access points are to be provided at the main loop road, opposite the tennis courts, on Lot 10A. A 10' 0" wide landscaped and hardscaped pedestrian access easement shall be recorded; the purpose of the easement is to provide residents and guests access to the park on Lot 21A. The easement need not be exclusive to pedestrians, but may occur on internal Project sidewalks and/or roadways.~~

d) ~~Should the final configuration resemble the layouts as shown on *Figure V-2*, a mutual access easement will have to be recorded between Lots 20 and 19.~~

e) ~~Please refer to Section VI for specific *Design Guidelines* and other related design criteria.~~

f) ~~Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.~~

a) ~~The master developer will build the parks in the phases indicated in the Phasing Tables, pages V-48 to V-51, prior to obtaining the Certificate of Occupancy for residences in said phase.~~

g) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:

- Specific Land Use Plan;
- Circulation Plan;

- Drainage Plan;
- Water, Reclaimed Water and Sewer Plans;
- Grading Plan;
- Phasing Plan;
- Open Space and Recreation Plan;
- Landscaping Plan;
- Comprehensive Maintenance Plan.

w. Planning Area Lot 21, 22, 23, 24, 25, and 26: Housing Type G Common Area Parks.

1) Descriptive Summary:

a) ~~Planning Area Lot 21, as depicted in Figure V-39, provides for the development of residential use. An allowable count of fifty-six (56) dwelling units in a townhouse configuration are planned, with a density of 18 dwelling units per acres. 0.92 acres of land devoted to common area park use. An approximately 4,000-square foot residents' building will be built as part of Phase 1 improvements. Amenities will include pool, spa, wading pool, tot lot, benches, and barbeques. See Figure VI-14 for conceptual design layout of the park.~~

~~b) Building Height: Three (3) stories; 36 feet.~~

~~c) Parking: Two (2) covered spaces, with one half guest parking space per unit. The guest parking stalls are to be parallel curb parking within, or directly adjacent to, the Planning Area.~~

~~d) Maximum lot coverage: Sixty percent (60%).~~

~~e) Planning Area Lot 21A, as depicted in Figure V-39, and VI-19 provides for the development of 0.4 acres devoted to common area park use, to be built as part of Phase 7 improvements. See Figure VI-19 for conceptual design layout of the park.~~

~~f) There is no required parking for Lot 21A.~~

b) ~~Planning Area Lot 22, as depicted in Figure V-39, provides for the development of 0.17 acres of land devoted to common area park use, which will be built as a part of Phase 1 improvements. See Figure VI-15 for conceptual design layout of the park.~~

c) ~~Planning Area Lot 23, as depicted in Figure V-39, provides for the development of 0.49 acres of land devoted to common area park use, which will be built as a part of Phase 6. See Figure VI-16 for conceptual design layout of the park.~~

d) ~~Planning Area Lot 24, as depicted in Figure V-39, provides for the development of 0.52 acres of land devoted to common area park use, to be built as a part of Phase 1 improvements. See Figure VI-17 for conceptual design layout of the park.~~

Planning Area: Lot 15A Lot 21

Planning Area: Lot 15A
Open Space
1.0 Acres 0.92 Acres

**Lot 15B
Lot 22**

Planning Area: Lot 15B
Open Space
0.2 Acres
0.17 Acres

100' RADIUS

WELL #48

Lot 15C Lot 23

Planning Area: Lot 15C
Open Space
0.5 Acres 0.49 Acres

Lot 15D Lot 24

Planning Area: Lot 15D
Open Space
0.5 Acres 0.52 Acres

ASPEN HILL ROAD

0 10 30 60

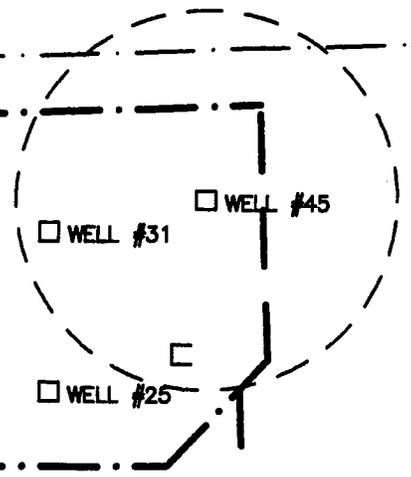


- e) Planning area Lot 25, as depicted in *Figure V-34* provides for the development of 0.12 acres of land devoted to park use to be built as part of Phase 1 improvements. See *Figure VI-18* for conceptual design layout of the park.
 - f) Planning Area Lot 26, as depicted in *Figure V-37*, provides for the development of 0.39 acre of land devoted to common area park use, to be built as a part of Phase 7. See *Figure VI-19* for conceptual design layout of the park.
 - g) There is no required parking for the parks. All parking will be curb parking on streets adjacent to the parks.
 - h) See *Design Guidelines* for any structures to be built within the parks.
- 2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.
 - 3) Planning Standards:
 - a) ~~The primary access points to Lot 21 will be provided from the main loop road to the south (see *Figures VI-7 and VI-8*), and through Lot 18 to the north to the main loop road. The curb cuts depicting Planning Area entrances are conceptual in nature, and do not represent final locations or number of entrances. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.~~
 - b) ~~Driveway aprons are required to be less than 8'-0", or more than 18'-0" deep, perpendicular to and measured from the property line.~~
 - e) ~~There is to be a 10'-0" minimum wide improved pedestrian access easement linking the northwest corner of the park at Lot 15A with the park at Lot 21A for use by Dominguez Hills Village residents. The easement may incorporate sidewalk, and if necessary, be within an internal road width.~~
 - d) ~~Should the final configuration resemble the layout as shown on *Figure V-2*, a mutual access easement must be recorded between Lot 21 and 18.~~
 - e) ~~Pedestrian entries are planned at the common property line to the north with the adjacent park on Lot 21A, and to the east at the common property line with the park on Lot 15A.~~
 - f) ~~Please refer to Section VI for specific *Design Guidelines* and other related design criteria.~~
 - g) ~~Provisions shall be made in the design of the buildings to accommodate the storage of trash receptacles within the units/garages.~~

- a) See *Figures V-2, VI-1, VI-14, VI-15, VI-16 and VI-17* for illustrative layouts for location and access to parks.
 - b) The developer will build the parks in the phases indicated in the Phasing Tables, pages *V-48 to V-51*, prior to the issuance of a Certificate of Occupancy for residences in said phase.
 - c) The site plans for all parks and structures to be built shall be submitted to the Planning Department for Site Plan Review by the Planning Commission, and to the Building Department for a building permit, as applicable.
 - d) Lot 23 contains an oil producing well. Easement and maintenance equipment requirements shall be in compliance with approved Conditional Use Permit No. 464-97.
 - e) The Planning Commission's Site Design Approval will include review for compliance of oil producing Lot 23, with the Conditional Use Permit and the Ordinance relating to the continued oil production on-site.
 - f) The design of residential and child care uses on-site shall comply with all applicable regulatory agency requirements regarding setbacks from well heads.
 - hg) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site-wide:
 - Specific Land Use Plan;
 - Circulation Plan;
 - Drainage Plan;
 - Water, Reclaimed Water and Sewer Plans;
 - Grading Plan;
 - Phasing Plan;
 - Open Space and Recreation Plan;
 - Landscaping Plan;
 - Comprehensive Maintenance Plan.
- x. Planning Area Lot 22 32: Tank Farm Gas Plant and Oil Production.
- 1) Descriptive Summary:
 - a) Planning Area Lot 22 32 as depicted in *Figure V-40* and in *Figure IV-9* provides for the development of 2.3 2.55 acres devoted to oil and chemical production, gas plant storage, and distribution.
 - b) All City and State agencies having jurisdiction over oil and chemical production, storage and distribution shall review and approve all applications for the construction and operation of such facility.
 - c) Parking shall comply with the City of Carson Zoning Ordinance.
 - d) Lot coverage shall comply with the City of Carson Zoning Ordinance.

Planning Area: Lot 22 Lot 32

Planning Area: Lot 22
Tank Farm
2.3 Acres 2.55 AC



Planning Area: Lot 35

Ingress/Egress Easement
0.84 Acres 0.86 AC

NOT A PART

WELL #42

WELL #41

BREA CANYON
OIL EASEMENT

WELL #16

WELL #2

(PARCEL 3
4.63 AC., GROSS
3.77 AC., NET)

NOT A
PART

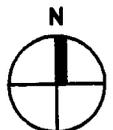
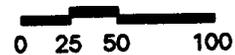
(PARCEL 4
0.94 AC.)

Lots 23A, 23B Lot 33

Planning Area: Lots 23A, 23B
Neighborhood Serving Retail
5.4 Acres 5.57 GROSS AC.
(INCL LOT 35)
4.71 NET AC

Central Ave.

Victoria St.



- 2) Land Use and Development Standards. Please refer to Ordinance No. 96-1084.
- 3) Planning Standards.
 - a) Access easements will be recorded to the satisfaction of agencies having jurisdiction.
 - b) A 10' high decorative masonry wall, with required access gates, shall encompass the entire site.
 - c) The Planning Commission's Site Design Approval will include review for compliance with the ~~C.U.P.~~ Conditional Use Permit and the Ordinance relating to the continued oil production gas plant on the site.

y. Planning Area Lots 23A and 23B 33: Neighborhood Serving Retail Center.

- 1) Descriptive Summary:
 - a) Planning Area Lots ~~23A and B, 33~~ (Parcels 3 and 4 of Parcel Map No. 24971) as depicted in *Figure V-40*, provides for the development of ~~5.4 acres~~ 5.57 gross acres (4.71 net acres) devoted to neighborhood retail use and access. ~~An anticipated size of 50,000 s.f. square feet of retail space will have been planned is required.~~
 - b) Building height: Two (2) stories; 40 feet.
 - c) Parking: To conform to the City of Carson parking requirements.
 - d) Maximum lot coverage: Thirty-three percent (33%).
 - e) Landscaping: Per Section VI *Design Guidelines*, and City of Carson requirements.
- 2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.
- 3) Planning Standards.
 - a) Primary access points to Lot 23 33 will be provided by driveways off Victoria Street and from the Central Avenue ingress/egress easement. The exact location and number of access points into individual Planning Areas shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.
 - b) A land use edge condition, similar to that shown in *Figure VI-10* will interface with the community.
 - c) Please refer to Section V.1 for the following Development Plans and Standards that apply throughout the site:

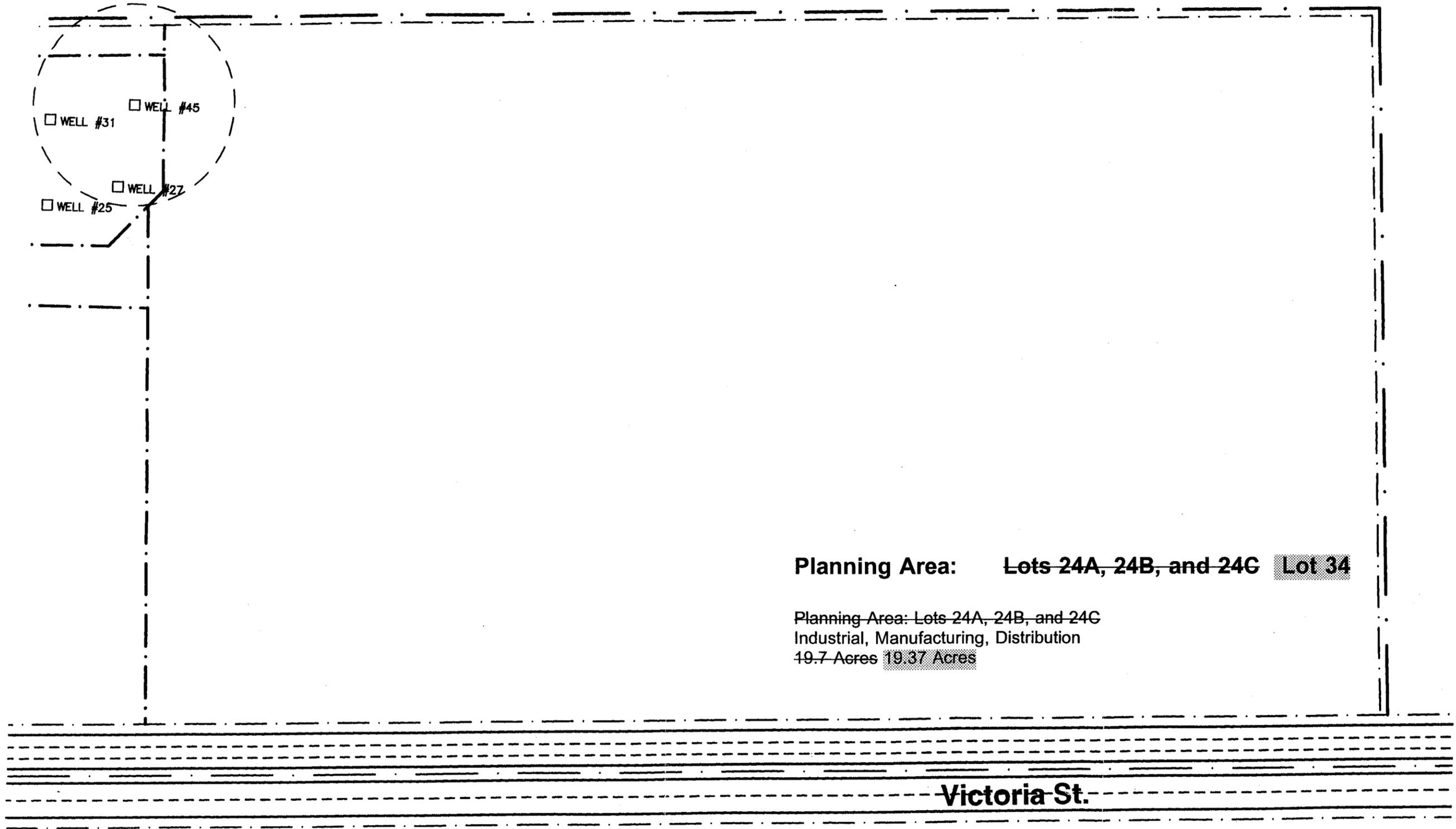
- Specific Land Use Plan;
- Circulation Plan;
- Drainage Plan;
- Water, Reclaimed Water and Sewer Plans;
- Grading Plan;
- Phasing Plan;
- Open Space and Recreation Plan;
- Landscaping Plan;
- Comprehensive Maintenance Plan.

- d) There shall be an 8'-0" high decorative masonry wall at ~~the north property line, and at the east property line,~~ and any property line where the project abuts a dissimilar use.
- e) All access to any operational oil production well, and to the tank farm, located within the commercial site shall have recorded easements, to the satisfaction of all agencies having jurisdiction over the oil production site.
- f) The Planning Commission Site Design Approval will include review for compliance with the ~~C.U.P. Conditional Use Permit and the Ordinance,~~ relating to the continued oil production on the site.
- g) Lot 23A and 23B to be developed prior to occupancy of Phase 5 (Lot 11).
- h) Provide special attention to screening techniques where retail uses are adjacent to tank farm industrial areas, east of Central Avenue (including building orientation and utilizing mature trees along the property line).

z. Planning Area Lots 24A, 24B and 24C 34: Industrial Development, Manufacturing and Distribution.

- 1) Descriptive Summary:
 - a) Planning Area Lots 24A, 24B and 24C 34, as depicted in Figure V-41, provides for the development of 49.7 ~~19.37~~ acres devoted to industrial, manufacturing and distribution facilities use. There will be a maximum of 355,000 s.f. of uses allowed for in the Carson General Plan. ~~441,000 square feet of industrial building(s) constructed on the site.~~
 - b) The industrial development is to conform to the City of Carson Zoning Ordinance.
- 2) Land Use and Development Standards: Please refer to Ordinance No. 96-1084.

~~The industrial portion of DHV-Commercial/Industrial (Parcel 1 of Parcel Map No. 24971) is proposed for a maximum of 441,000 square feet, which could include a wide range of uses permitted under the City of Carson "Industrial"~~



Planning Area: ~~Lots 24A, 24B, and 24G~~ Lot 34

Planning Area: ~~Lots 24A, 24B, and 24G~~
Industrial, Manufacturing, Distribution
19.7 Acres 19.37 Acres

Victoria St.



Figure V-41

zoning designation. Specific land use proposals will be subject to discretionary review by the City of Carson, either for Site Plan Review or Conditional Use Permits. As part of any future development application for the DHV-Commercial/Industrial parcel, the applicant(s) will be required to submit, for City review and approval, a Focused Traffic Study addressing site-specific access and related improvements. The Focused Traffic Study must also demonstrate that the combined peak hour and daily traffic levels for the entire Dominguez Hills Village project (residential, commercial, and industrial) will be no greater than the Dominguez Hills Village traffic volumes projected in the certified Dominguez Hills Village Specific Plan EIR.

3) Planning Standards.

- a) Access on Central Avenue will be limited to the signalized intersection indicated herein. Access points along Victoria Street will require City approval as part of the site plan review process.
- b) Access easements must be recorded to the satisfaction of agencies having jurisdiction.
- c) An 8'-0" high decorative masonry wall, shall be built along the north property line where none currently exists, and along the east property line where none currently exists, and at the property line separating the industrial use from the retail use, and the MCI parcel which is not a part.
- d) ~~An access easement for the maintenance of oil wells on Lot 24C must be recorded. See Figures IV-7 and IV-8 for easement and maintenance equipment requirements.~~
- e) ~~A 25'-0" non-exclusive access easement from the access point on Central Avenue to the Tank Farm across Lot 24C must be recorded.~~

1. PROJECT SUMMARY

a. Project Location

The site is approximately 1.57 acres and is located at 1007 East Victoria Street (Assessor's Parcel Numbers [APN] 7319-03-8900).

Regional access to the project site is provided via the Redondo Beach/Artesia Freeway (State Route 91 [SR-91]), the San Diego Freeway (Interstate 405 [I-405]), the Harbor Freeway (I-110), and the Long Beach Freeway (I-710).

Local access to the project site will be provided via East Victoria Street and Cedarbluff Way.

b. Project Summary

The project is a 38-unit townhome community distributed among six three-story buildings (Building Numbers 1 through 6); refer to Figure XI-1, Site Plan.

Building Type and Height

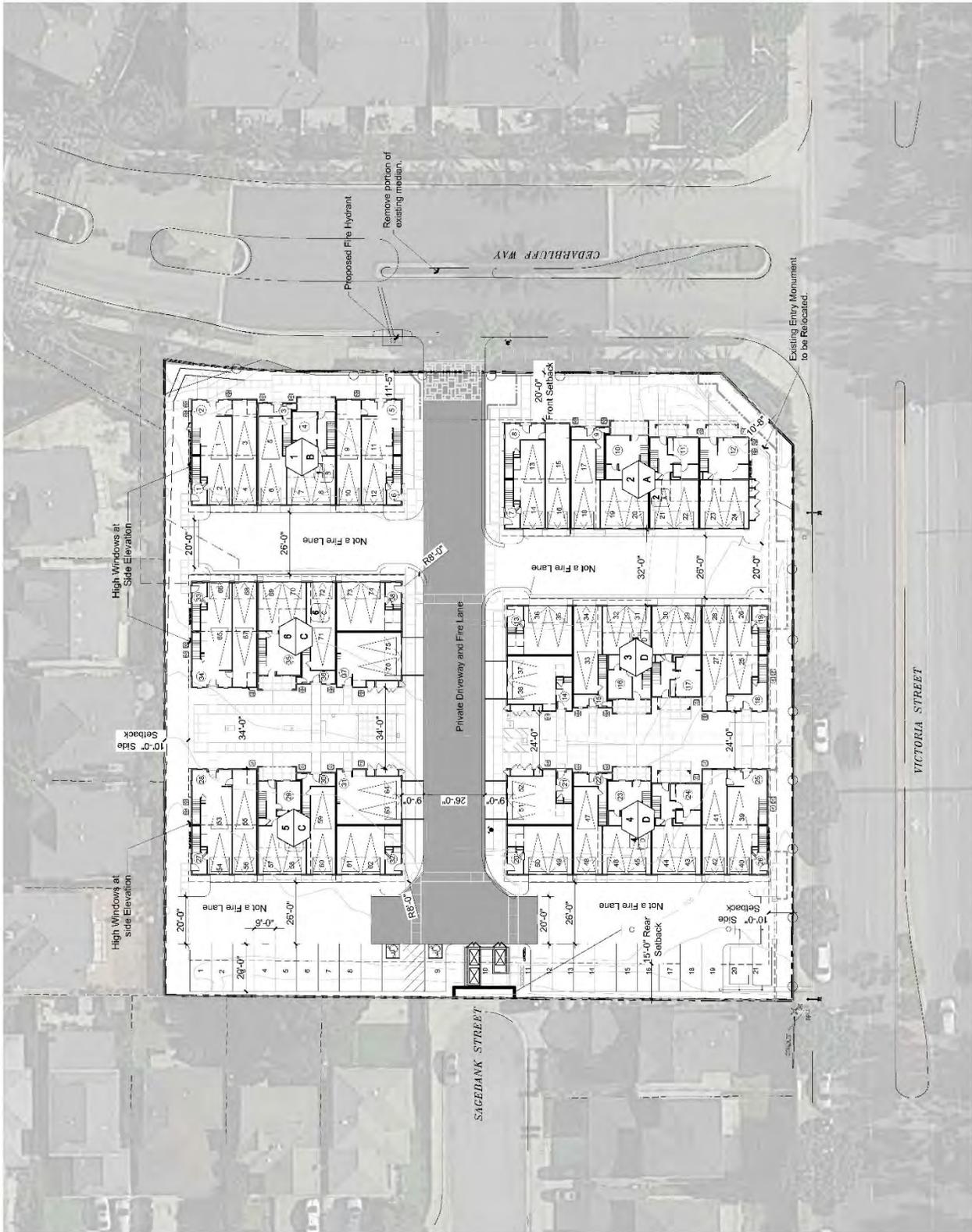
A total of four separate building types (Building Types A through D) are provided for Building Numbers 1 through 6, as shown in Figure XI-2a through Figure XI-2d. Elevations of each building type are shown in Figure XI-3a through Figure XI-3d. In addition, the offset elevation for Building Type D is shown in Figure XI-4a and Figure XI-4b, and a section view of Building Type D is shown in Figure XI-5.

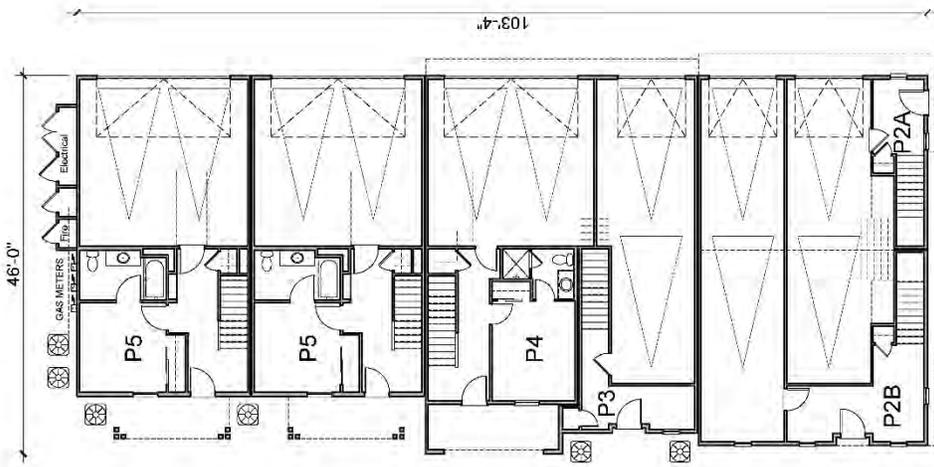
Building Types A through D will range in size from 12,342 to 14,884 square feet with a maximum building height of 35 feet.

Building Number	Building Type	Gross Area ¹	Number of Units
1	B	12,383 sf	6
2	A	13,534 sf	6
3	D	14,884 sf	7
4	D	14,884 sf	7
5	C	12,342 sf	6
6	C	12,342 sf	6
Note 1. Gross Area includes garages, storage and wall thickness.			Total Units: 38

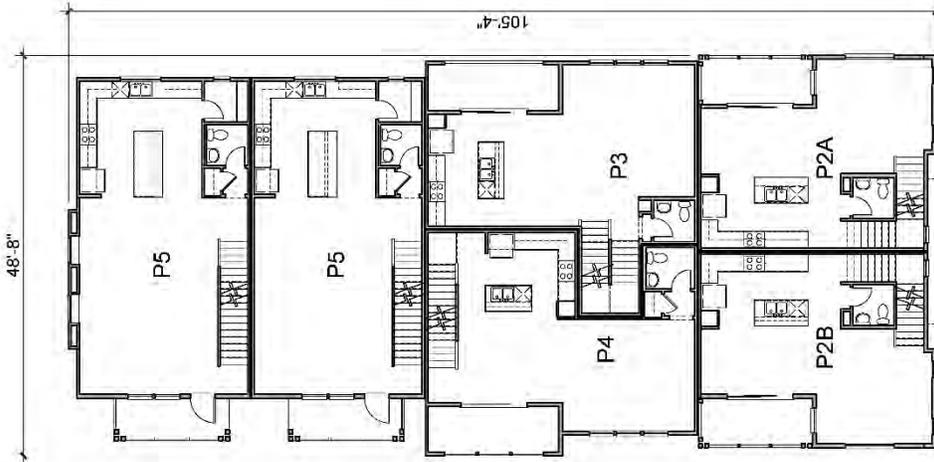
Unit Size

Each unit will include two to four bedrooms and will range in size between 1,239 to 1,876 square feet. A breakdown by unit plan and size is provided below.

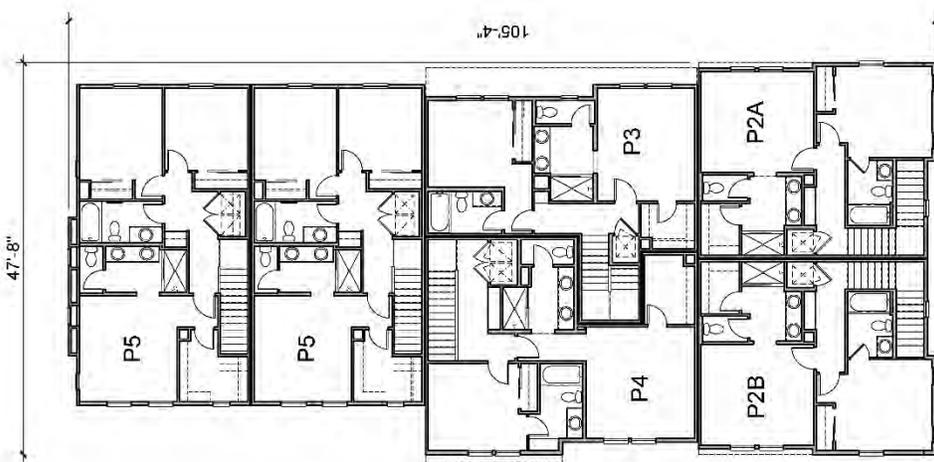




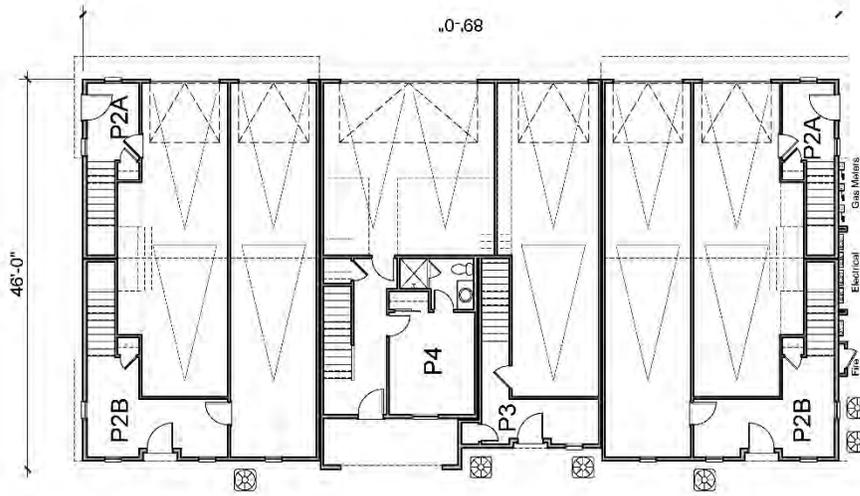
First Floor
4388 SQ. FT.



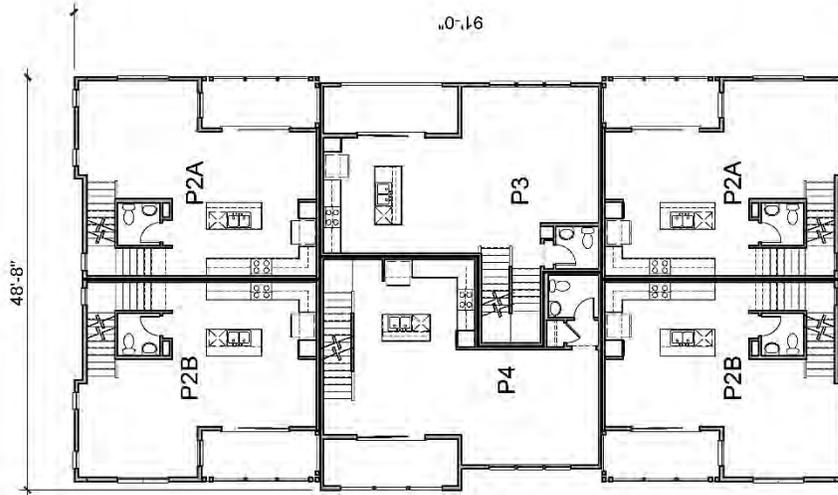
Second Floor
4709 SQ. FT.



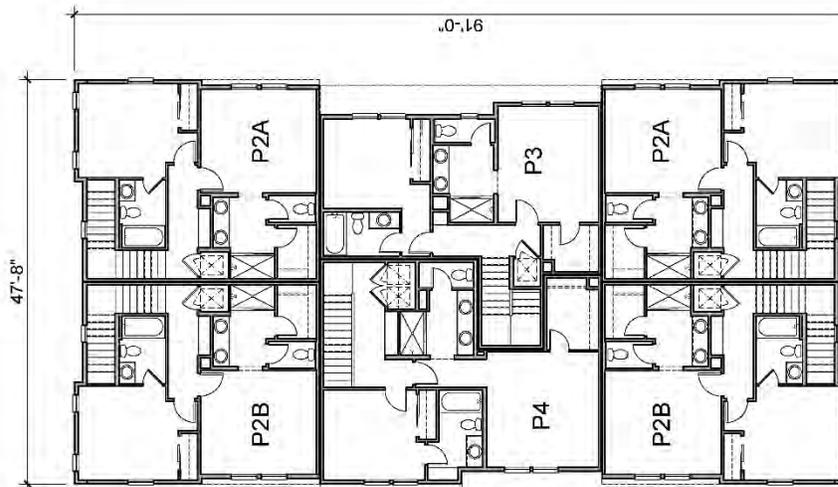
Third Floor
4437 SQ. FT.



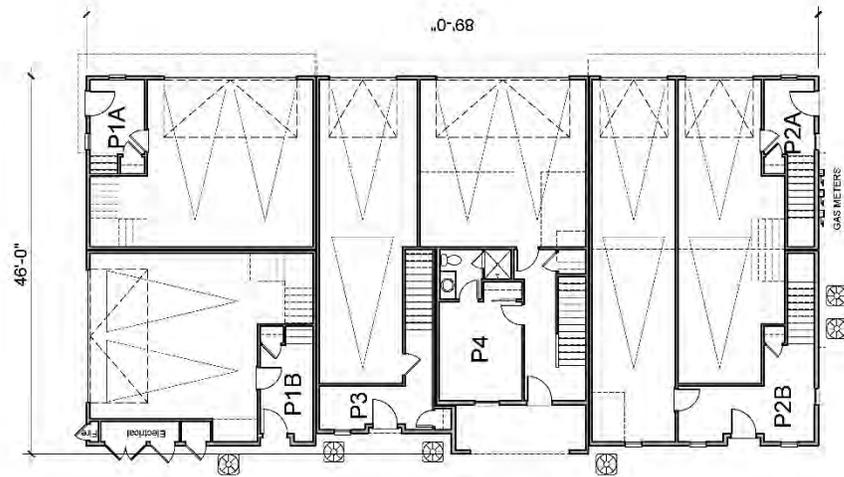
First Floor
4014 SQ. FT.



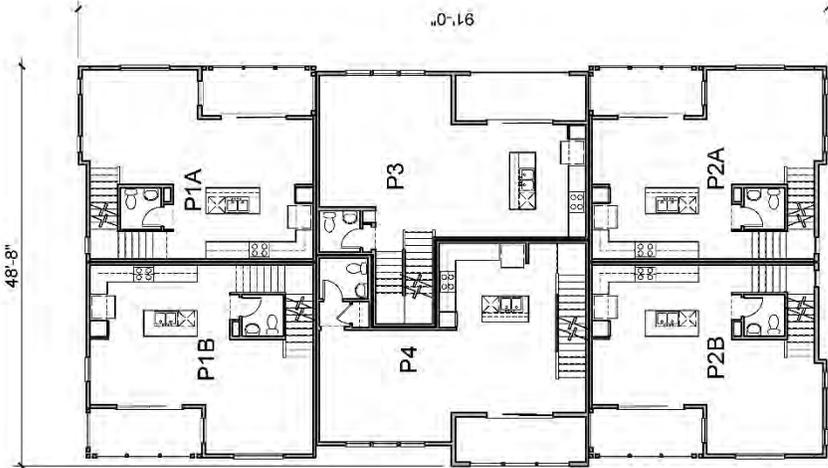
Second Floor
4260 SQ. FT.



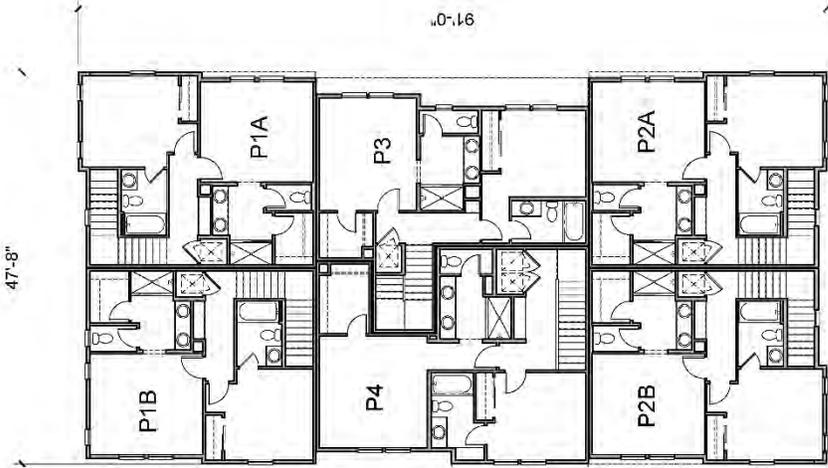
Third Floor
4109 SQ. FT.



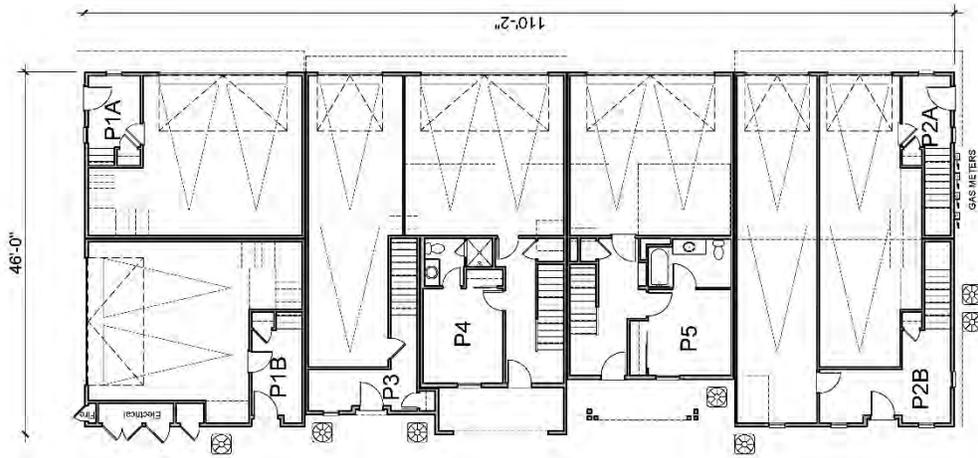
First Floor
3997 SQ. FT.



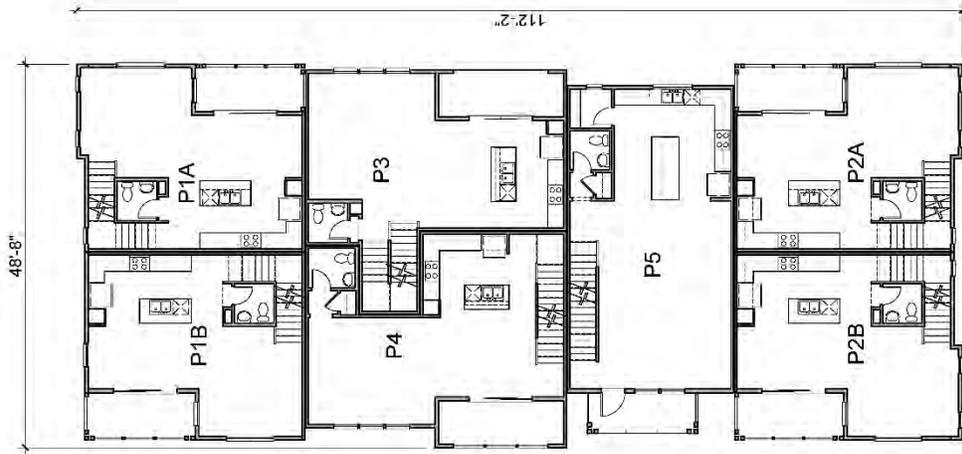
Second Floor
4248 SQ. FT.



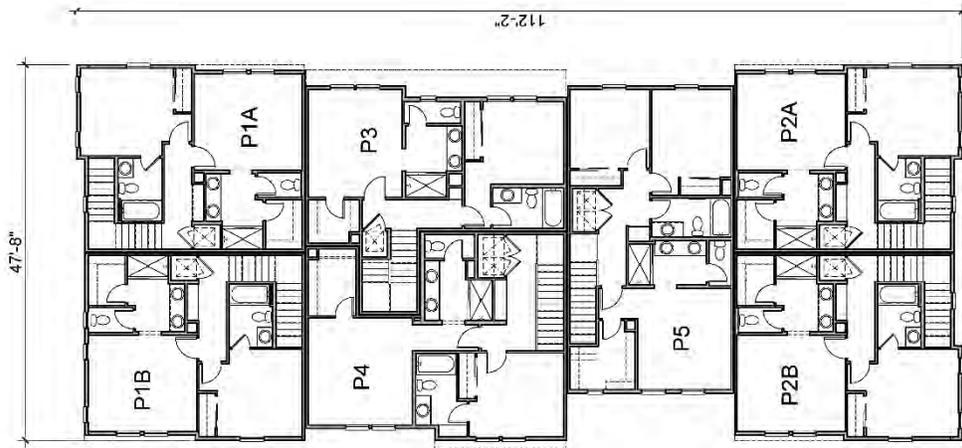
Third Floor
4097 SQ. FT.



First Floor
4821 SQ. FT.



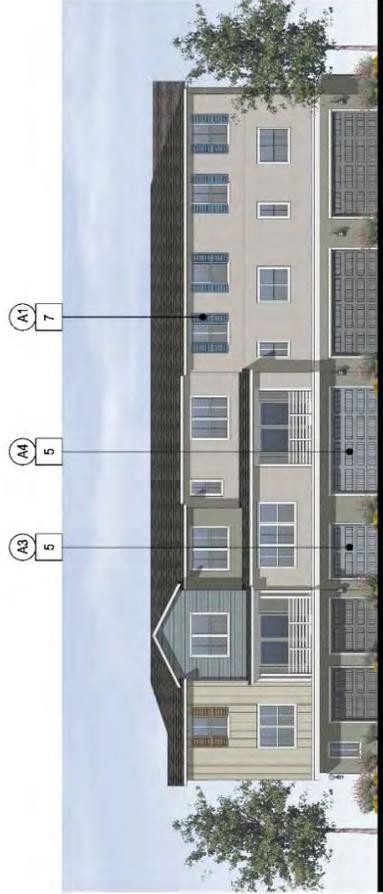
Second Floor
5142 SQ. FT.



Third Floor
4921 SQ. FT.

- Material Legend**
1. Composite Shingle Roof
 2. Stucco
 3. Fiber Cement Trim
 4. Fiber Cement Siding
 5. Metal Garage Doors
 6. Wood Railing
 7. Decorative Shutter
 8. Light Fixture
 9. Vinyl Windows

- Color Schedule**
- S1 - Siding 1
 - S2 - Siding 2
 - ST1 - Stucco 1
 - ST2 - Stucco 2
 - A1 - Accent 1
 - A2 - Accent 2
 - A3 - Accent 3
 - A4 - Accent 4
 - W1 - Window Frame 1
 - T1 - Trim 1
 - R1 - Roof 1

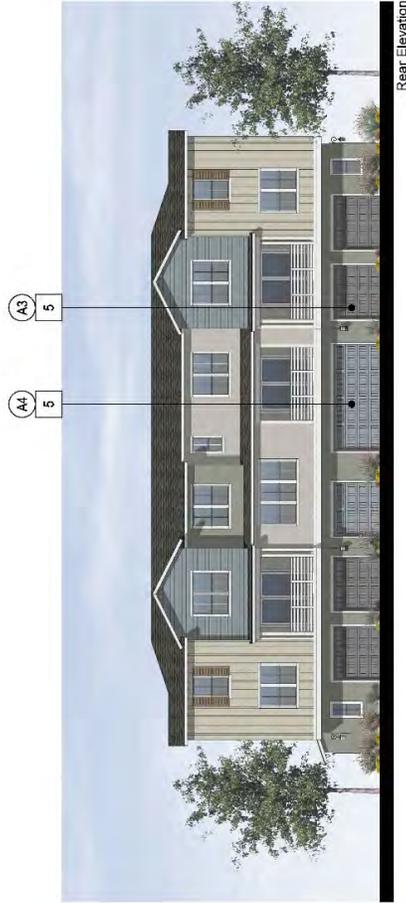
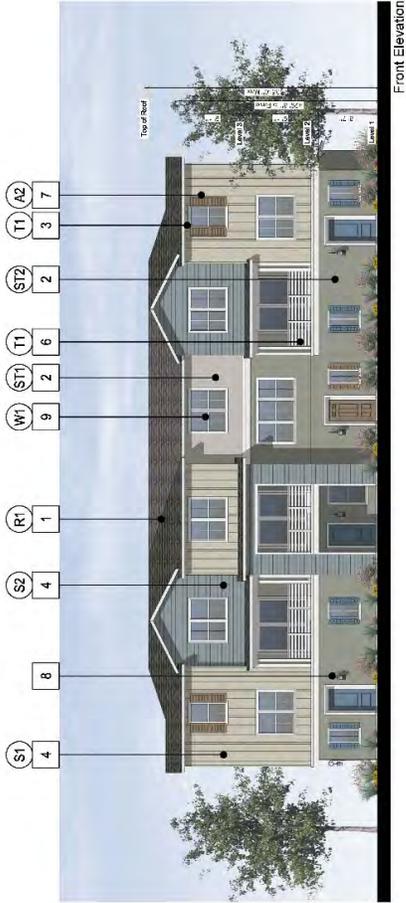


Material Legend

1. Composite Shingle Roof
2. Stucco
3. Fiber Cement Trim
4. Fiber Cement Siding
5. Metal Garage Doors
6. Wood Railing
7. Decorative Shutter
8. Light Fixture
9. Vinyl Windows

Color Schedule

- S1 - Siding 1
- S2 - Siding 2
- ST1 - Stucco 1
- ST2 - Stucco 2
- A1 - Accent 1
- A2 - Accent 2
- A3 - Accent 3
- A4 - Accent 4
- WI - Window Frame 1
- T1 - Trim 1
- R1 - Roof 1

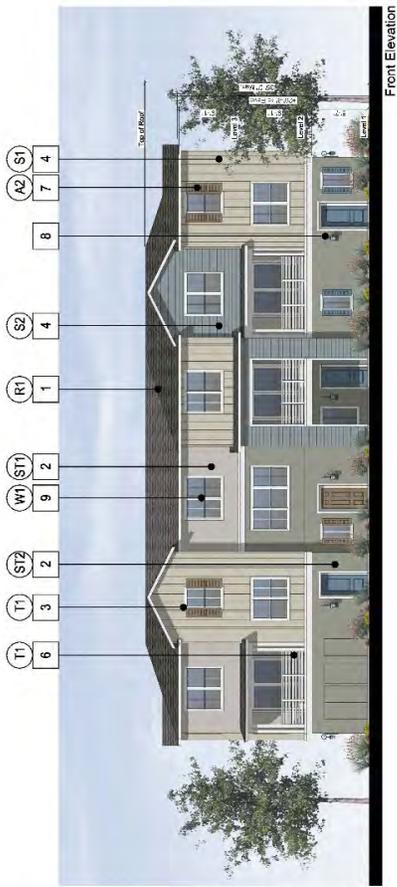


Material Legend

1. Composite Shingle Roof
2. Stucco
3. Fiber Cement Trim
4. Fiber Cement Siding
5. Metal Garage Doors
6. Wood Railing
7. Decorative Shutter
8. Light Fixture
9. Vinyl Windows

Color Schedule

- S1 - Siding 1
- S2 - Siding 2
- ST1 - Stucco 1
- ST2 - Stucco 2
- A1 - Accent 1
- A2 - Accent 2
- A3 - Accent 3
- A4 - Accent 4
- W1 - Window Frame 1
- T1 - Trim 1
- R1 - Roof 1

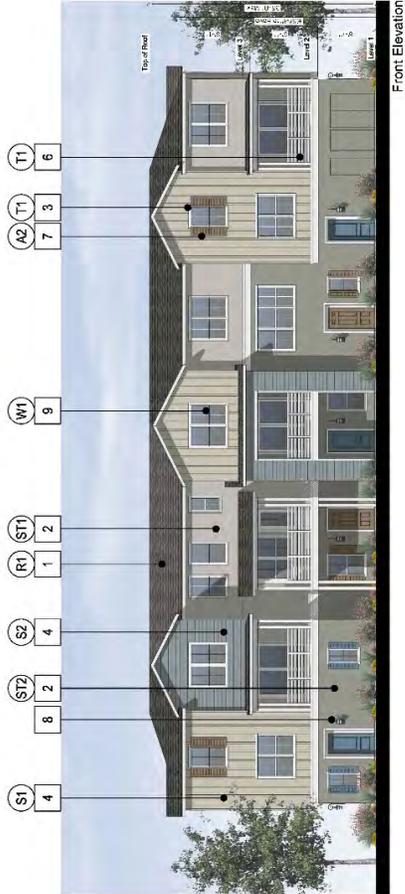


Material Legend

1. Composite Shingle Roof
2. Stucco
3. Fiber Cement Trim
4. Fiber Cement Siding
5. Metal Garage Doors
6. Wood Railing
7. Decorative Shutter
8. Light Fixture
9. Vinyl Windows

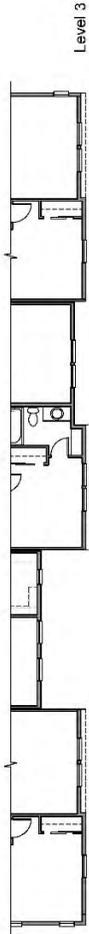
Color Schedule

- S1 - Siding 1
- S2 - Siding 2
- ST1 - Stucco 1
- ST2 - Stucco 2
- A1 - Accent 1
- A2 - Accent 2
- A3 - Accent 3
- A4 - Accent 4
- W1 - Window Frame 1
- T1 - Trim 1
- R1 - Roof 1

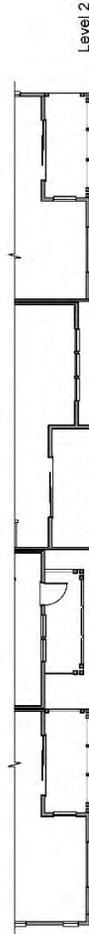




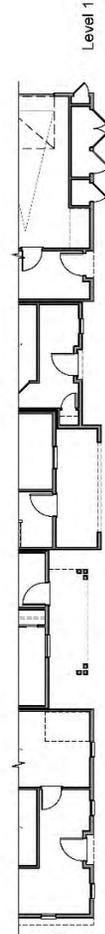
Front Elevation
Plan 1 Plan 2 Plan 3 Plan 4 Plan 5



Level 3



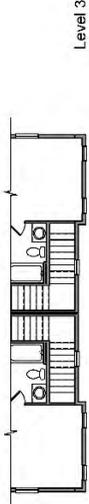
Level 2



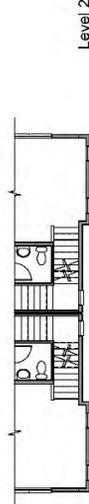
Level 1



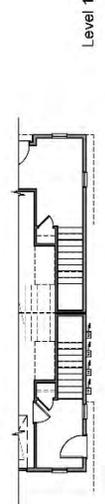
Left Elevation
Plan 2A Plan 2B



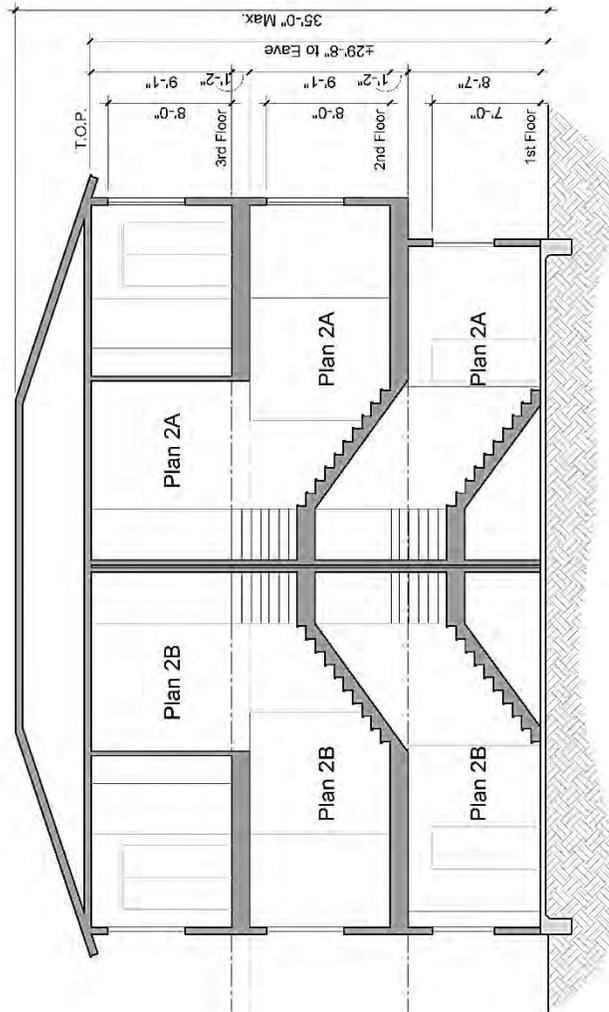
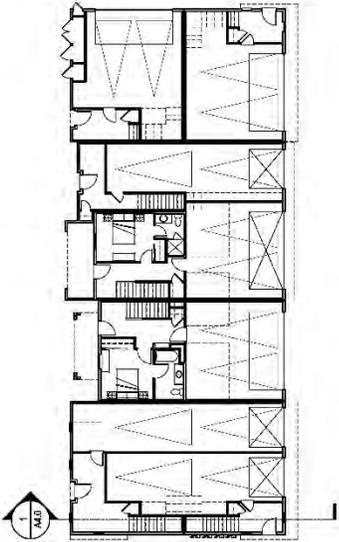
Level 3



Level 2



Level 1



Building D
Plan 2B and 2A

Unit Plan	Plan Type	Quantity	Net Area
1A	2 bedroom/2.5 bath Side by Side Garage	4	1,239 sf
1B	2 bedroom/2.5 bath Side by Side Garage	4	1,228 sf
2A	2 bedroom/2.5 bath Tandem Garage	7	1,235 sf
2B	2 bedroom/2.5 bath Tandem Garage	7	1,322 sf
3	2 bedroom/2.5 bath Tandem Garage	6	1,344 sf
4	3 bedroom/3.5 bath Side by Side Garage	6	1,632 sf
5	4 bedroom/3.5 bath Side by Side Garage	4	1,876 sf
Total Units: 38			

Building Colors

The exterior building colors will include a variety of neutral earth tones (beiges, browns, grays, and blues), while the exterior building materials will include composite shingle roofing, stucco, fiber cement trim and sliding, metal garage doors, wood railings, decorative shutters, light fixtures, and vinyl shutters.

Site Access

The existing driveways along East Victoria Street and Cedarbluff Way will be abandoned and a new central private driveway/fire lane will be constructed on-site off Cedarbluff Way. Construction of the new private driveway/fire lane will require the reconstruction of existing median islands within Cedarbluff Way.

Parking

A total of 95 parking spaces will be provided. This includes 76 spaces provided in private garages located on the first floors of Buildings 1 through 6 and 19 guest spaces located along the site's western boundary.

Open Space

The project includes 14,346 square feet of open space, including 3,966 square feet of private open space (patios and balconies) and a 10,380-square foot central community open space/pocket park.

Common Open Space

The central community open space/pocket park is located between Building Numbers 5 and 6. Amenities to be provided for use by the residents include a shade structure, freestanding barbeque, picnic table, and lawn area for social gatherings.

Private Open Space

A breakdown of private open space by unit plan type is provided below.

Unit Plan	Patio	Balcony	Quantity	Total Area
1A	0 sf	77 sf	4	308 sf
1B	0 sf	77 sf	4	308 sf
2A	0 sf	77 sf	7	539 sf
2B	0 sf	77 sf	7	539 sf
3	0 sf	90 sf	6	540 sf
4	88 sf	88 sf	6	1,056 sf
5	108 sf	61 sf	4	676 sf
TOTAL				3,966 sf

Landscaping And Tree Removal

A total of 10,380 square feet of landscaping will be installed throughout the site. Planting materials include a mix of trees, shrubs, and groundcover, and may include fruitless olive trees, "little gem" magnolia, shoestring acacia, Brisbane box trees, strawberry trees, Australian willow, paperback melaleuca, and Italian cypress; refer to Figure XI-6, Schematic Landscape Plan.

The new project entrance and private driveway/fire lane along Cedarbluff will require the removal of one existing street tree along Cedarbluff Way.

The four existing palm trees at the site's southeastern boundary and street trees along East Victoria Street will be protected in place, and the two existing palm trees in the Cedar Bluff Way median island will be relocated with median island reconstruction.

Walls and Fences

An existing six-foot (6') high property line wall along the northern boundary will be protected in place.

A six-foot high slump concrete masonry unit (CMU) wall with a two-inch (2") high slump cap will be installed along the majority of the western boundary and portions of the southern boundary. Along the southern boundary, a six-foot (6') high steel tubular fence between Buildings 2 and 3 and north of Building 4 along with a six-foot (6') high metal patio pedestrian access gate between Buildings 3 and 4 will be installed.



LEGEND

1. Central community open space / pocket park, with shade structure, free standing BBQ, and table seating area.
2. Free standing BBQ grill.
3. Metal fence (dark bronze color) around specimen canopy trees.
4. Three community outdoor tables, per USFS review and approval.
5. Proposed free standing and retaining walls, masonry gate or fence, per Wall & Fence Plan.
6. Proposed free standing (with stamped colored concrete) at main project entry.
7. 4 wide common courtyard walkway, natural colored concrete, w/ light broom finish and narrow saw-cut joints.
8. 4 wide community natural colored concrete steps, w/ light broom finish & narrow colored joints.
9. 3 wide unit entry natural colored concrete walk (4' wide at ADA visible units), with light broom finish and narrow tooled joints.
10. Accessible parking stall and striping, per CIV plans.
11. Existing parking stall.
12. New proposed accessible driveway, with light broom finish and tooled joints.
13. New proposed accessible ramp, with light broom finish and tooled joints.
14. Private use area with natural colored concrete with light broom finish and narrow tooled joints, for homeowner use and maintenance.
15. Common area landscape, builder installed and HOA maintained.
16. Community entry monument sign / wall, stucco finish with black metal pin-mounted lettering; final design to be determined.
17. Proposed train enclosure, style and materials to complement proposed architecture.
18. Property lines, P.O.W.
19. Existing street sidewalk / parkway to remain.
20. Proposed AC units to be screened with landscape, quantity and final locations to be determined.
21. Proposed AC units to be screened with landscape.
22. Stormwater treatment devices, per CIV plans.
23. Existing palm & trees to remain and protect in place.
24. Proposed street pole light, per Electrical Engineer.
25. Community open roof pergolas/stubs structure in rough sawn cedar with a dark wood stain.
- 26.

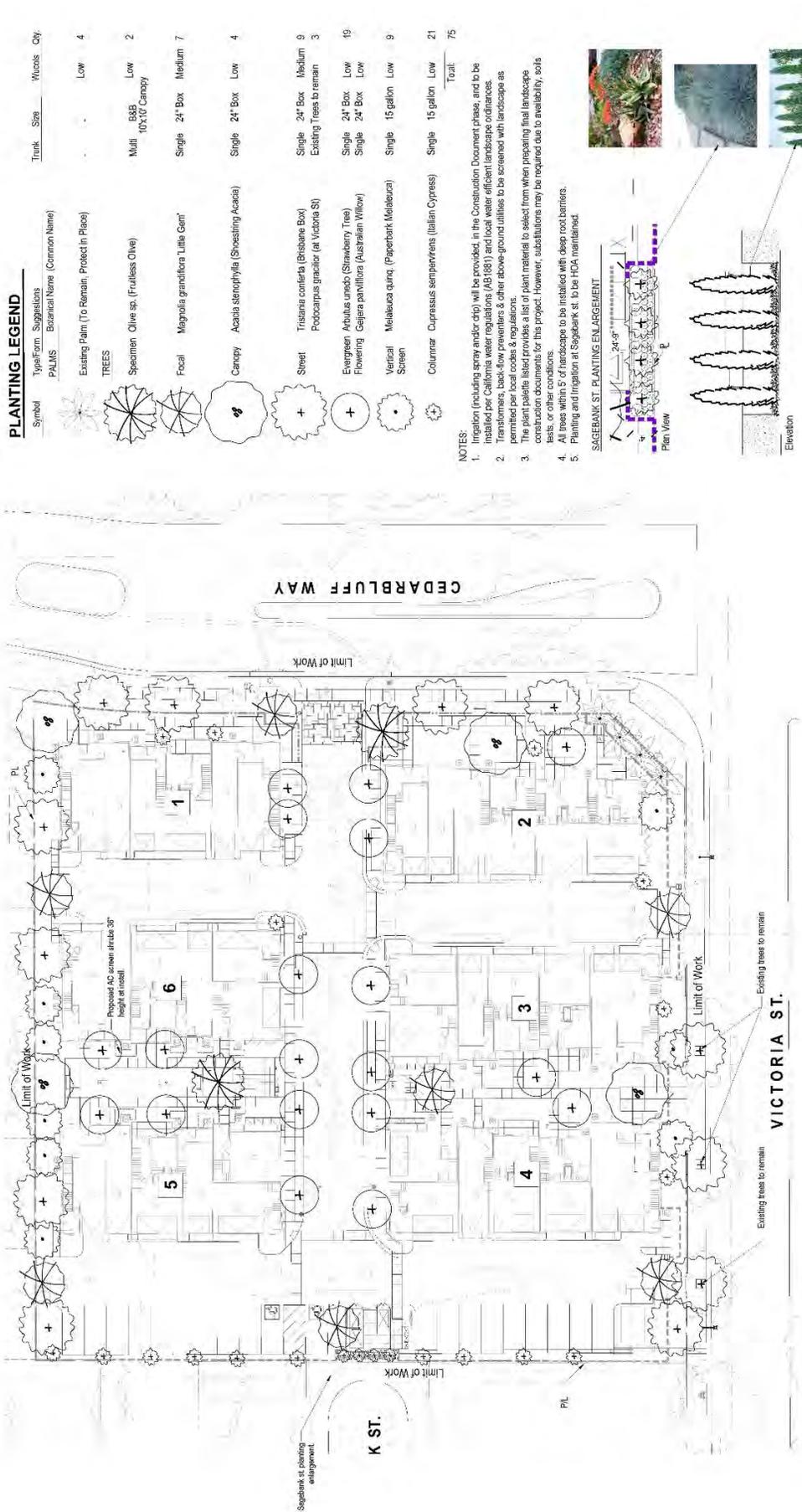


Conceptual Images (provided herein are subject to change)



Conceptual Images (provided herein are subject to change)



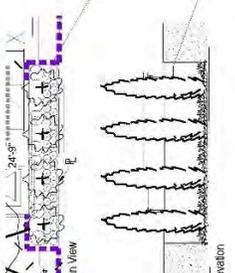


PLANTING LEGEND

Symbol	Type/Form, Suggestion	Botanical Name (Common Name)	Trunk Size	Width	Qty
[Symbol]	PALMS	Existing Palm (To Remain, Protect in Place)			
[Symbol]	TREES	Specimen Olive sp. (Fruitless Olive)	Multi 6-8" 10'x10' Canopy	Low	2
[Symbol]	Focal	Magnolia grandiflora Little Gem	Single 24" Box	Medium	7
[Symbol]	Canopy	Acacia stenophylla (Shoestring Acacia)	Single 24" Box	Low	4
[Symbol]	Street	Tristania conferta (Brisbane Box) Podocarpus gracilior (at Victoria St)	Single 24" Box Existing Trees to remain	Medium	9 3
[Symbol]	Vertical Screen	Evergreen Abutilon undulatum (Strawberry Tree) Flowering Gajera paniculata (Australian Willow) Melaleuca quing (Paperbark, Melaleuca)	Single 24" Box Single 24" Box Single 15 gallon	Low Low Low	19 9
[Symbol]	Columnar	Cupressus sempervirens (Italian Cypress)	Single 15 gallon	Low	21
			Total:		75

NOTES:
 1. Irrigation (including spray and/or drip) will be provided, in the Construction Document phase, and to be installed per California water regulations (AS 181) and local water efficient landscape ordinances.
 2. Transformers, back-flow preventers & other above-ground utilities to be screened with landscape as permitted per local codes & regulations.
 3. The plant palette listed provides a list of plant material to select from when preparing final landscape construction documents for this project. However, substitutions may be required due to availability, soil tests, or other conditions.
 4. All trees within 5' of hardscape to be installed with deep root barriers.
 5. Planting and irrigation at Sagebank st. to be HOA maintained.

SAGEBANK ST. PLANTING ENLARGEMENT



SHRUBS and GROUND COVER (MUCOLS Reg. 3)

Argemone sp.	Kangaroo Paw	Red Yucca	Pennisetum massaceum Bunnys Tails	Red Bunnys Tails Fountain Grass	Bougainvillea
Agave sp.	Agave	Lantana	Phormium	Phormium	(OC-La,Loe Bougainvillea)
Bougainvillea La Jolla	Aloe	Pink Muhly Grass	Huntington Carpet Rosemary GC	Huntington Carpet Rosemary GC	Carex Claw Vire
Callisemon Little John	La Jolla Bougainvillea	Deer Grass	Salvia sp.	Salvia sp.	Star Jasmine
	Little John Bottlebrush	Purple Needlegrass	Trachelospermum jasminoides	Trachelospermum jasminoides	Star Jasmine
		Groundcover / Prostrate Rosemary	Westringia sp.	Westringia	



A two- to three-foot (2' – 3') high slump CMU retaining wall with two-inch high slump cap will be installed along the eastern boundary to retain the existing street grade and allow the building pads to be lowered. This wall will include a 42-inch metal guardrail on top of the retaining wall where the grade is greater than 30 inches.

The existing monument sign located on the northwest corner of E. Victoria and Cedarbluff Way will be removed due to encroachment on private property. A new six-foot (6') high stone veneer wall with a wood trellis and precast cap to match existing monumentation will be installed on the southeast corner of the site.

Refer to Figure XI-8, Wall & Fence Plan.

Trash

A trash enclosure area with trash bins is provided at the western end of the private driveway/fire lane along the western boundary.

Signage

The existing “Dominguez Hills Village” entry monument will be relocated southeast closer towards the intersection of East Victoria Street and Cedarbluff Way.

A new community entry monument will be installed at the project’s entrance at Cedarbluff Way.

Utilities and Services

The following utilities and services will serve the project site:

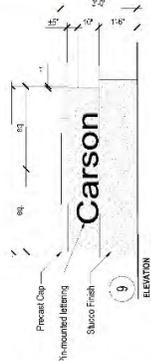
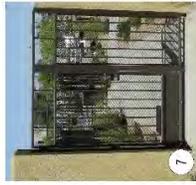
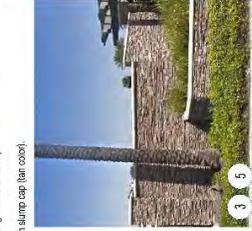
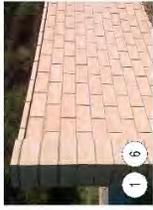
Water. The project site will be served by Golden State Water Company’s (GSWC) Southwest District water system from existing water facilities within East Victoria Street.

Sewer. The Sanitation Districts of Los Angeles County (Districts) would provide sanitary sewer service to the project site. The project applicant would construct a private 4-inch building lateral sewer system connecting to a new public sewer mainline on the main east/west drive, also to be constructed by the applicant. This sewer would tie into the public sewer located in E. Victoria Street at man hole #129 and would flow west in E. Victoria toward Avalon Street, then north to tie into the 15” Victoria Street Trunk. As an alternative, only if connection to the public sewer in E. Victoria is infeasible, the applicant may opt to modify the western retaining wall and connect to the existing public sewer in Sagebank Street, after receiving approval of a supplemental sewer capacity study for this point of connection. This alternative, using a locally-maintained line would flow westerly for conveyance to the Districts-owned 15-inch diameter Victoria Street Trunk Sewer, located in Albertoni Street at Avalon Boulevard, for treatment at the Districts’ Joint Water Pollution Control Plant in the City of Carson

Drainage. An on-site infiltration system designed to capture a 50-year storm event will be installed in the southwest portion of the site. Any flow in excess of the on-site infiltration system’s capacity will bypass the filters and flow to public right-of-way via an under walk drain. Once in public right-of-way, stormwater runoff will flow to a County-maintained storm drain that ultimately outlets to the San Gabriel River.

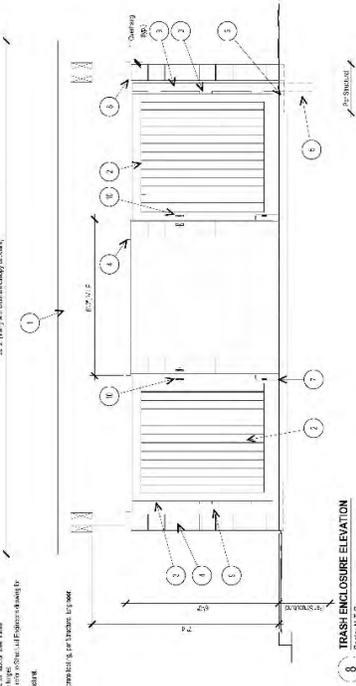
WALL LEGEND

- Existing - 6'-0" high property line wall, project in place.
- 6'-0" High slump CMU wall (tan color), with 2' high slump cap in tan color. Relating per CIVL.
- 2'-3" high slump CMU relating wall with 2' high slump cap in tan color. (Metal 42" Guardrail on top where grade change is greater than 30").
- 6'-0" High stone veneer wall (Express cap to match existing (non-maintain)).
- 6'-0" High tube steel fence in black.
- 6'-6" High stone veneer plaster & precast cap (to match existing non-maintenance).
- 6'-6" High 18" sq. slump CMU plaster (tan color), with 2' high slump cap (tan color).
- Pin-mounted lettering
- Trash Enclosure
- Community Sign Wall
- ADA Path of Travel

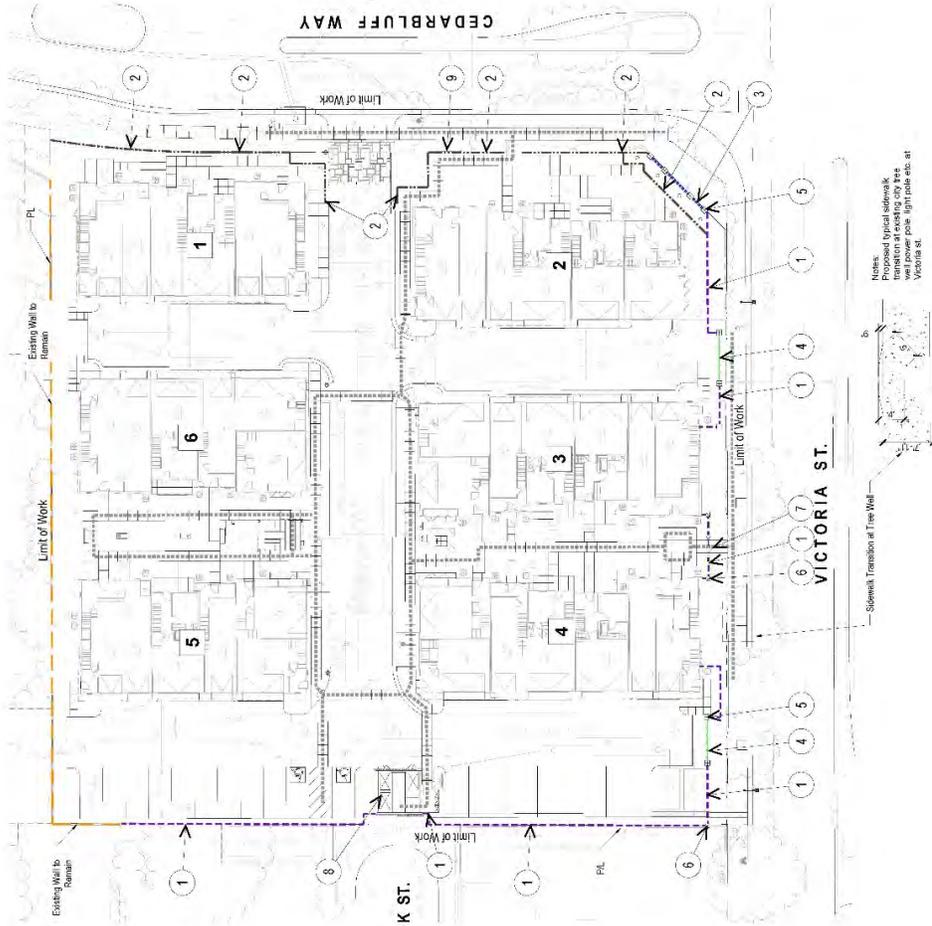


- LEGEND**
1. 6'-0" High slump CMU wall (tan color), with 2' high slump cap in tan color.
 2. 2'-3" High slump CMU relating wall with 2' high slump cap in tan color.
 3. 6'-0" High stone veneer wall (Express cap to match existing (non-maintain)).
 4. 6'-0" High tube steel fence in black.
 5. 6'-6" High stone veneer plaster & precast cap (to match existing non-maintenance).
 6. 6'-6" High 18" sq. slump CMU plaster (tan color), with 2' high slump cap (tan color).
 7. Pin-mounted lettering.
 8. Trash Enclosure.
 9. Community Sign Wall.
 10. ADA Path of Travel.

2'-2" High 1/2" Dia. metal pipe (black)



8 TRASH ENCLOSURE ELEVATION
Scale: 1/4" = 1'-0"



b. Goals and Objectives

The project will implement the specific goals for Dominguez Hills Village Specific Plan identified in Chapter I, Section 2, which are restated below.

- Implement a comprehensive program for the physical and economic development of the property.
- Ensure that the type and intensity of land uses are compatible with the surrounding area's existing residential neighborhoods and California State University Dominguez Hills, and ensure that the development does not in any way detract from existing and proposed adjacent industrial uses.
- Establish a quality and character of development which will invite merchant builders to build a community which will enhance the image of the City of Carson in general, and the immediate area in particular.
- Provide a circulation system that meets transportation requirements and minimizes potential adverse impacts on the surrounding area.
- Ensure that infrastructure plans for water, wastewater, and drainage are adequately designed for the project.
- Ensure that the sequential phasing of the project development is accomplished in a logical, orderly manner, and in concert with the oil remediation and the extension of site infrastructure and recreational improvements for the site.

2. PLANNING AREA STANDARDS

a. General Planning Standards

Refer to Chapter V, Section 2.a.

b. Additional Planning Standards

Refer to Chapter V, Sections 2.b.3 through 2.b.33.

c. Planning Area Lot 11: Housing Type D

1) Descriptive Summary

- a) Planning Area Lot 11, as depicted in Figure XI-9, provides for the development of 1.57 acres of land devoted to residential use. Thirty-eight (38) dwelling units in a configuration are allowed. A density of 24.2 dwelling units per acre is planned.
- b) Building height: Three stories; 35 feet.
- c) Parking: Two covered parking spaces and one-half guest parking space per unit. The guest parking shall be provided within the Planning Area.
- d) Maximum lot coverage: Sixty percent (60%) of lot area.

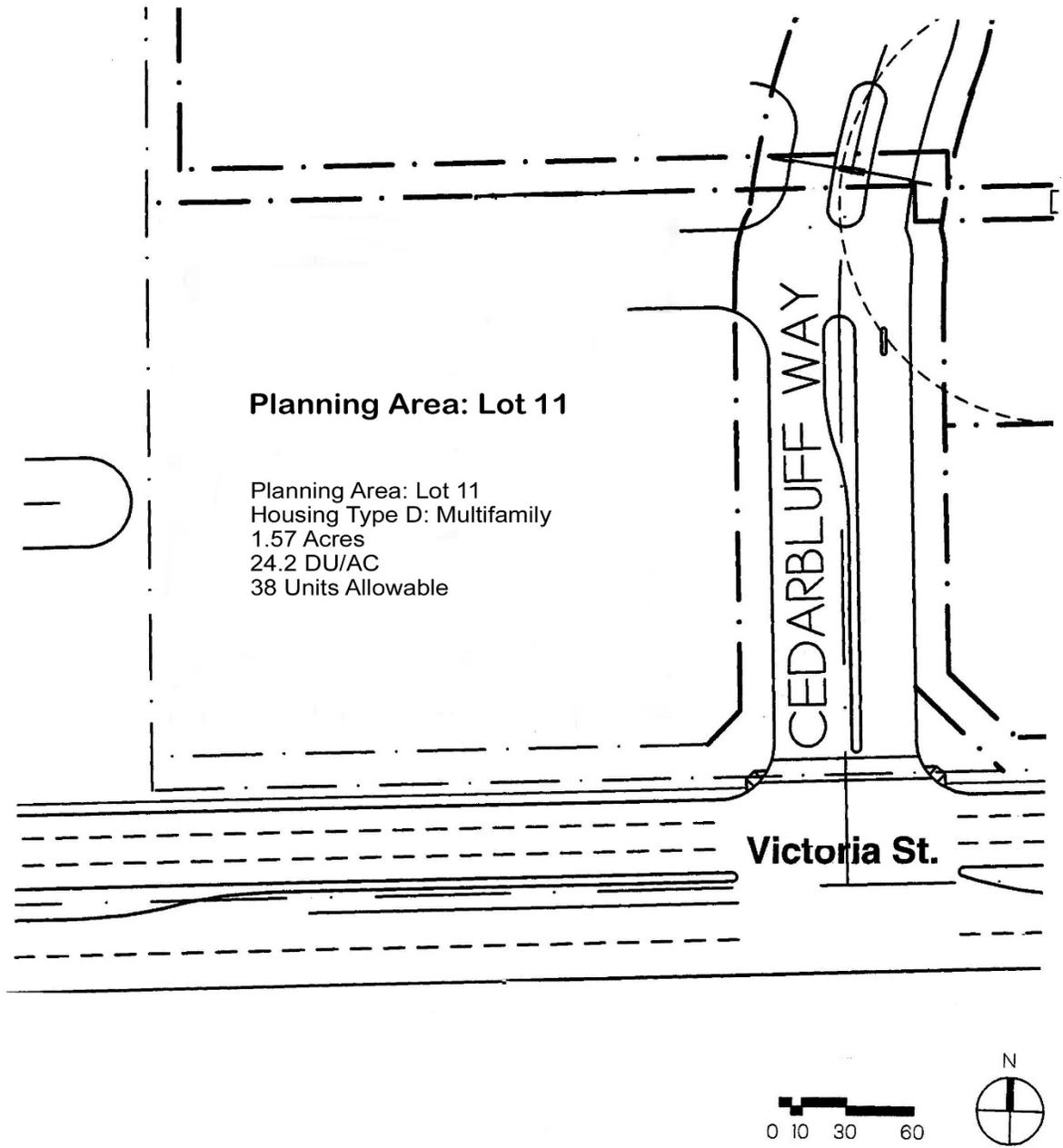
2) Development Standards

The table, which begins on page XI-23, summarizes development standards applicable to Lot 11.

3) Land Use and Development Standards

Refer to Ordinance Nos. 96-1084, 99-1158, and 99-1170.

Figure XI-9 Planning Area: Lot 11



LOT 11: HOUSING TYPE D DEVELOPMENT STANDARDS		
Topic	Standard	Source^{1,2}
Minimum Lot Area	5,000 sf	Zoning Ordinance §9125.2
Street Access	Primary access via Cedarbluff Way. No access from Victoria Street.	SP 4-93, Page V-92 Planning Standards – a)
Driveway Widths, Approaches, and Sight Distance	Main drive aisle – 26 ft Alley drive aisle- 26 ft with 20 ft choker at intersection with Main drive aisle	SP 4-93, SPA No. 3
Roadway Landscape	15 ft landscape easement along west side of Cedarbluff Way	SP 4-93, Page V-92 Planning Standards – b)
Minimum Lot Width (Corner Lot)	55 ft	Zoning Ordinance §9125.4
Street Frontage	50 ft	Zoning Ordinance §9125.3
Maximum Lot Coverage	60%	SP 4-93, Page V-92 Descriptive Summary – d)
Minimum Building Setback Requirements Front Yard Side Yard Rear Yard	8 ft for 3-story 5 ft for 3-story 10 ft for 3-story	SP 4-93, SPA No. 3 SP 4-93, SPA No. 3 SP 4-93, SPA No. 3
Maximum Allowable Density	24.2 du/ac	SP 4-93, SPA No. 3
Maximum Structure Height	3 stories/35 ft	SP 4-93, SPA No. 3
Minimum Space Between Buildings	10 ft between buildings 20 ft front-to-front buildings	Zoning Ordinance §9126.27
Minimum Private Storage	200 cubic feet of lockable storage space per unit	Zoning Ordinance §9128.15 & §9128.54
Minimum Private Open Space Per Unit	77 sf Such space shall have a configuration that would allow a horizontal rectangle or square of a minimum seventy-seven (77) square feet in area and a minimum dimension of five (5) feet eight (8) inches [5'-8] to be placed in said space.	SP 4-93, SPA No. 3
Minimum Common Space Per Unit & Recreational Facilities	140 sf + amenities	SP 4-93, Page V-53 Open Space and Recreation Plan Standards – i)
Parking Spaces	2 covered spaces per unit and ½ guest space per unit	SP 4-93, SPA No. 3

LOT 11: HOUSING TYPE D DEVELOPMENT STANDARDS		
Topic	Standard	Source ^{1,2}
Garage Parking Spaces	Unobstructed minimum interior dimension of 20 ft in width by 20 ft in length.	Zoning Ordinance §9162.41
Garage Parking – Tandem Spaces	Unobstructed minimum interior dimension of 10 ft in width by 37 ft in length.	SP 4-93, SPA No. 3
Trash Storage, Enclosures	<p>For residential facilities of more than 12 units, trash areas shall be provided as follows:</p> <p>a. If individual trash areas are provided, the individual trash areas shall be at least 3 ft by 4 ft for each unit, and there shall be 1 additional area of at least 4½ ft by 6 ft.</p> <p>b. If a common trash area is provided, the common trash area shall be at least 4½ ft by 15 ft with an additional 5 sf of trash area for each unit over 13.</p>	Zoning Ordinance §9164.2.C.3
<p>Legend: ft = feet; sf = square feet; du = dwelling unit; ac = acre</p>		
<p>Sources: 1. Specific Plan 4-93 as amended through Specific Plan Amendment No. 2 (Ordinance No. 99-1170, September 7, 1999) 2. Carson Municipal Code, Article IX, Planning and Zoning (Zoning Ordinance)</p>		

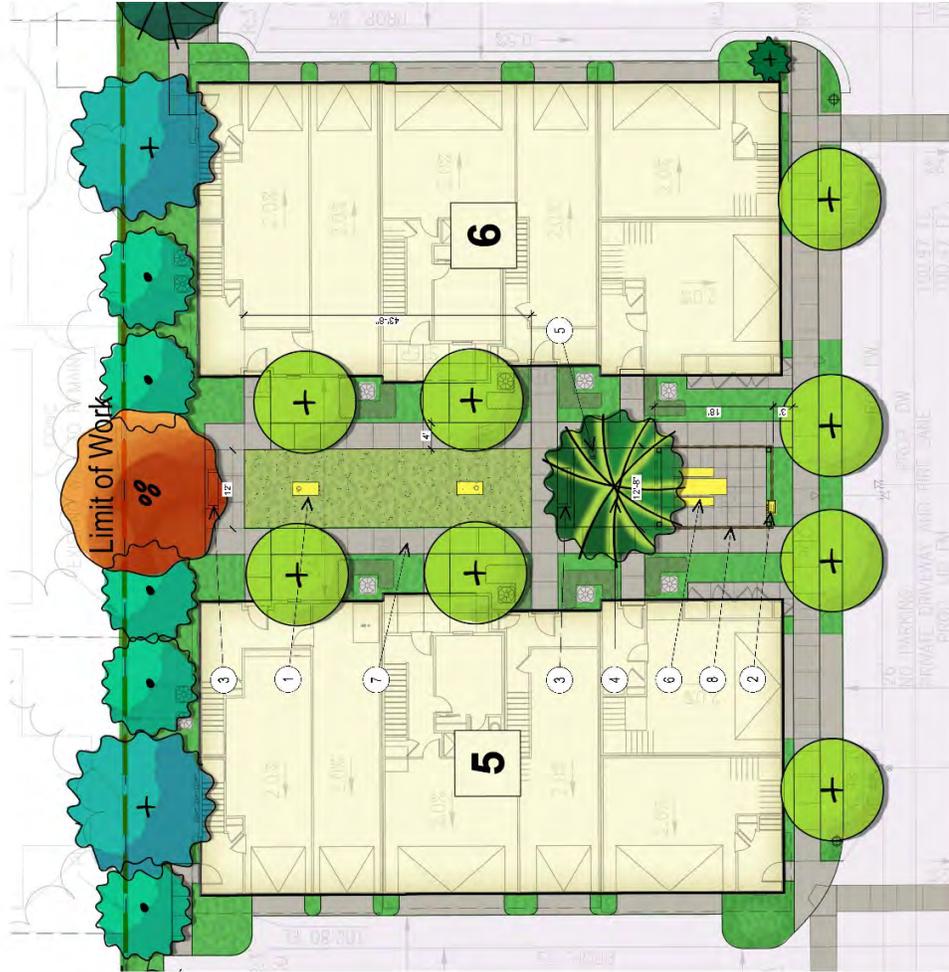
4) Planning Standards

- a) A singular access to Lot 11 will be provided via Cedarbluff Way to the on-site private driveway/fire lane, and outside of the Dominguez Hills Village Security Gate. There shall be no direct access from Lot 11 onto or off Victoria Street.

The exact location of access points shall be subject to review and approval at the subdivision or plot plan stage, and must be designed and located to provide adequate and safe access from a traffic and fire safety standpoint.

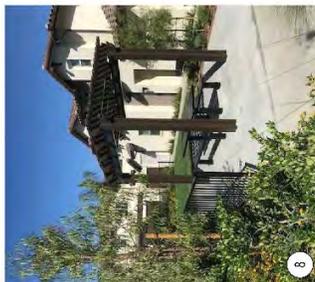
- b) Drive aisles shall be a minimum width of 26'-0".
- c) Alleys shall be a minimum width of 26'-0" with a choker of 20'-0" where the alley meets a drive aisle.
- d) A roadway landscape treatment, as shown on Figure VI-4 and VI-9, is planned along Cedarbluff Way and Victoria Street.

- e) A minimum 5'-0" community edge landscape buffer shall be provided along Victoria Street.
- f) Planning Area 11 landscaping and plant materials shall be designed and installed in compliance with Figure XI-6, Landscape Plan and Figure XI-7, Planting Plan.
- g) Pedestrian entries to Lot 11 are planned at the entry on Cedarbluff Way.
- h) Planning Area 11 provides for the development of 0.24 acres (10,380 square feet) of land devoted to common area open space for a central community open space/pocket park and amenities. Refer to Figure XI-10, Pocket Park.
- i) Walls and fences shall be constructed in compliance with Chapter VI, Section 2. Refer to Figure XI-8, Wall and Fence Plan.
- j) Planning Area 11 provides a common trash enclosure/storage area of 342 square feet of common trash at the western end of the private driveway/fire lane along the western boundary.
- k) Planning Area 11 provides a total of 3,966 square feet of private open space in the form of patios and balconies for residential units.
- l) Planning Area 11 provides a total of 10,380 square feet of common space in a central community open space/pocket park with amenities, which include a shade structure, freestanding barbeque, picnic table, and lawn area for social gatherings.
- m) Landscaping Standards: Refer to Chapter V, Section 1.h.2.



LEGEND

1. Central community open space / pocket park, with shade structure, free standing BBQ, picnic table and lawn area for small social gathering.
2. Free standing BBQ grill, picnic table, and color around specimen canopy tree.
3. Dog bag station (black) for resident pet waste disposal.
4. Proposed tree, per Planting Plan.
5. Dog bag station (black) for resident pet waste disposal.
6. Table seating for small group gatherings
7. Wide community natural colored concrete walk, with light brown finish and narrow boulev joints.
8. Community - open roof pergola/structure in rough saw timber with a dark wood slat.



Conceptual Images (provided herein are subject to change)



3. DESIGN GUIDELINES

- a. Landscape Design Guidelines: Refer to Chapter VI, Section 2.
- b. Architectural Design Guidelines: Refer to Chapter VI, Section 3.
- c. Specific Design Guidelines: Housing Type D, Three-Story Townhomes

The Specific Design Guidelines for Housing Type D supersede Landscape Design Guidelines and Architectural Design Guidelines referenced above in a and b, as applicable.

1. Building Massing and Scale

- a) This building type as envisaged is a higher density variation of the courtyard type, arranged in a linear configuration. The architectural style proposed is “Contemporary Farmhouse”.
- b) Building facades shall be varied in placement, size and material to avoid visual monotony and to create interest and human scale.
- c) Balconies, porches, walls, gates, entry court yards and entries shall be carefully incorporated to encourage street level activity and a human scale to the streetscape. Lattice structures over balconies, terraces, or entries are encouraged to provide shade and shelter, and to create visual richness.
- d) Architectural articulation of building facades and roof planes may be accomplished through the introduction of sub- elements, such as projections, dormers, roof ridge offsets, roof overhangs, and building face trims such as belt courses, recessed doorways, or entry courts.
- e) A hierarchy of openings should be created to mark the location of living spaces, with special attention to those with enhanced volumes.

2. Roof Forms and Materials

- a) Roofs should be hip or gable, pitched at ratios between 3-in-12 to 8-in-12. Roof planes and heights should be varied.
- b) Roof overhangs should be employed to lower the visual scale of the structure, and to provide sun shading and rain protection.
- c) Detailing such as gutters, wood facias, gable vents, and exposed ridge beams should be used to provide roof accents.
- d) Roofing material should be architectural-grade composition roof shingles.

3. Architectural Features and Accents

- a) Detailed door, window and wall openings should be arranged in such a way as to maximize their visual interest. Window and door openings should be varied as to

spacing, size, shape and location. They may be recessed or projected out of the wall with the purpose of conveying an impression of wall thickness.

- b) Garden walls and fences, entry gates, enhanced entries to units, pot shelves, enlarged window sills, and window balconies should be utilized to further enhance the individual identity of each home.
 - c) The use of many different styles of windows should be avoided. The size and proportion of panes should correspond to the overall proportioning of the elevation. The use of divided lights is encouraged to reduce the scale of large windows, and to provide visual interest. The use of reflective or dark tinted glass is prohibited.
 - d) Chimneys should be simple in design, having the same material and texture as the building to ensure a consistency in form, character, materials and color. They should not exceed those minimum heights required by Building Codes.
 - e) Patio walls shall be constructed of a similar or complementary material as that used on the homes. The use of decorative metal work is encouraged.
 - f) Fences and walls shall be constructed of a similar or complimentary material as that used on the homes, The use of decorative metal work is encouraged. All private rear and side at-grade private patios are to be enclosed by a fence or railing terraces.
 - g) Utility meters should be accessible to utility company personnel, and screened from adjacent properties, street and neighborhood views. All air conditioning and heating equipment, as well as other mechanical equipment, shall be screened from view, and meet sound attenuation requirements of Carson Municipal Code.
4. Exterior Doors
- a) Entry doors shall be of wood or composite materials, suitably durable, or an approved equal material.
 - b) Secondary doors to patios or balconies shall be wood encasement (French doors) or sliding doors (vinyl, metal, or an approved equal material).
 - b) Garage doors shall be recessed from the front wall plane by a minimum of six inches (10"). Garage doors shall be overhead sectional panel type (wood or approval equal material) with a maximum width of sixteen feet (16'). All garage doors are required to have automatic garage door openers to assure that garage doors remain closed when not in use.
5. Windows
- a) Windows shall be vinyl, metal, wood, or an approved equal material.
6. Exterior Finishes
- a) All exterior finishes shall be approved by the Declarant or subsequent home owners association. Wood trim shall be painted in matte and low sheen finishes.

When repainting, the original color scheme shall be repeated, or a new color scheme shall be submitted for review.

7. Paving

- a) Enhanced paving shall be provided at key focal points in the Planning Area , which include the main project entry, driveways, and the private use area. The enhanced paving shall use concrete in colors, textures, and patterns, or interlocking pavers.

8. Outdoor Lighting: Street Lights

- a) Fixtures for street lighting within Planning Area 11 shall not exceed 25 feet (25') in height and shall be post mounted fixtures on a metal post in compliance with current energy efficiency code requirements.